

UNIVERSITY OF LOUISIANA AT LAFAYETTE  
AGNES EDWARDS HALL 2024 RE-ROOF

110 REX STREET  
LAFAYETTE, LA 70503

PROJECT DIRECTORY:

OWNER:	UNIVERSITY OF LOUISIANA AT LAFAYETTE 104 EAST UNIVERSITY AVENUE LAFAYETTE, LA 70503 (337) 482-1803
OWNER CONTACT:	ALLEN BONNET
ARCHITECT:	THE MBSB GROUP 101 LA RUE FRANCE, SUITE 205 LAFAYETTE, LOUISIANA 70508 (337) 237-2770 (337) 237-2772 FAX
PROJECT ARCHITECT:	MARK STIELPER
PROJECT MANAGER:	HUGH STEVENS

ARCHITECTURE | INTERIOR DESIGN

MBSB GROUP

101 LA RUE FRANCE, SUITE 205  
LAFAYETTE, LOUISIANA 70508  
(337)237-2770 FAX (337)237-2772

UL LAFAYETTE  
AGNES EDWARDS HALL  
RE-ROOF 2024

110 REX STREET  
LAFAYETTE, LA 70503

GENERAL NOTES:

- A. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT IMMEDIATELY TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
- B. ALL WORK SHALL BE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURER'S RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.
- C. CONTRACTORS' PARKING OF CARS, TRUCKS AND EQUIPMENT AND MATERIALS WILL BE ALLOWED ON THE SITE IN DESIGNATED AREAS. DO NOT INTERFERE WITH THE OWNER'S USE OF ADJACENT PROPERTIES.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS UNLESS HE RECEIVES A WRITTEN NOTIFICATION FROM THE ARCHITECT TO THE CONTRARY.
- E. THE CONTRACTOR(S) SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS. THE CONTRACTOR SHALL ARRANGE FOR INSPECTION BY GOVERNING AUTHORITIES.
- F. CONSTRUCTION SITE SHALL BE MAINTAINED IN A CLEAN CONDITION. ALL TRASH AND DEBRIS SHALL BE PLACED IN TRASH CONTAINERS AND/OR DUMPSTER AFTER EACH WORK DAY. CLEAN ALL INTERIOR SURFACES AT THE END OF CONSTRUCTION.
- G. ANY DAMAGE TO EXISTING STRUCTURES SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE USER AGENCY AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- H. NO CORING OF ANY ROOF SHALL BE DONE BY ANY CONTRACTORS PRIOR TO AWARDING OF CONTRACT
- I. ROOF PLANS ARE APPROXIMATE AND MUST BE VERIFIED BY EACH BIDDER
- J. IT IS THE INTENTION OF THESE PLANS AND SPECIFICATIONS THAT THE ROOFING OF THIS BUILDING BE COMPLETE IN EVERY WAY. IF ANY DETAILS ARE MISSING IT SHALL BE BUILT IN A MANNER TO MEET THE ROOF MANUF. RECOMMENDATIONS AND/OR SMACNA MANUAL FOR METAL WORK
- K. ALL METAL DETAILING SHALL MEET OR EXCEED SMACNA MANUAL DETAILS MOST CLOSELY MATCHING THE CONDITIONS.
- L. ALL EXISTING ROOFING AND FLASHING IS TO BE FULLY REMOVED BEFORE INSTALLING THE NEW ROOF. SALVAGE ANY FLASHING AND PIPE SUPPORTS THAT ARE TO BE RE USED.
- M. ROOFING CONTRACTOR SHALL INSPECT THE EXISTING CONCRETE DECK FOR ACCEPTABILITY. CONTRACTOR SHALL IDENTIFY ARCHITECT OF ANY UNACCEPTABLE CONDITIONS.
- N. CONTRACTOR SHALL CAREFULLY COORDINATE HIS WORK TO CONTROL SURFACE IRREGULARITIES SUCH THAT THERE WILL BE NO STANDING WATER ON ROOF FOR MORE THAN 24 HOURS AFTER A RAIN. CONTRACTOR SHALL FLOOD ROOF PRIOR TO INSTALLATION OF CAP SHEET AND MARK LOW AREAS WITH SPRAY PAINT. CONTRACTOR SHALL ELIMINATE LOW AREAS BY MEANS ACCEPTABLE TO MANUFACTURER.
- O. PROVIDE FLEXIBLE FLASHING AND OTHER PRECAUTIONS SUCH THAT ROOF EDGES AND CONTROL JOINTS ARE WEATHER TIGHT AT THE END OF EACH DAY.
- P. ALL EXHAUST FANS, CURBED VENTS AND HOODS SHALL BE ANCHORED USING 2 SCREWS PER SIDE MINIMUM 1/4" DIA. AND SHALL NOT EXCEED 24" O.C. AT LARGE UNITS. ANCHORS SHALL HAVE NEOPRENE GASKETS.
- Q. CONTRACTOR IS TO COORDINATE WORK WITH BOTH THE ARCHITECT AND ULL.
- R. CONTRACTOR IS TO COORDINATE RESTRICTED AND/OR STAGING AREAS, AS WELL AS TEMPORARY UTILITY SHUTDOWN WITH ULL.
- S. CONTRACTOR IS TO SEAL THE ROOF ON THE SAME DAY AS ANY INSTALLATION. IN ADDITION THE CONTRACTOR SHALL NOT INITIATE MORE ROOF THAN CAN BE COMPLETED IN THE SAME DAY.KEEPING WATCH ON HOURLY LOCAL RAIN FORECASTS AND ACTUAL WEATHER CONDITIONS.

INDEX TO DRAWINGS

A1.1	TITLE SHEET, PROJECT DIRECTORY, SITE PLAN
A3.1	ROOF PLAN
A3.2	PHOTO REFERENCE PLAN
A4.1	EXTERIOR ELEVATIONS
A4.1	DETAILS
A4.2	DETAILS

SCHEDULE OF BASE BID AND ALTERNATES	
BASE BID:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED TO RE-ROOF AREAS "A", "B", "C", AND "D".
ALT. 01:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR PROVIDING WALL-MOUNTED LADDER AND REPAIRS TO PENTHOUSE.
ALT. 02:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR BRICK REPAIR AND SILICONE ELASTOMERIC COATING AS INDICATED ON ELEVATIONS 2-9/A4.1.



PROJECT NUMBER:	224-17_00
DATE:	JUNE 2025
DRAWN BY:	ZB
CHECKED BY:	MS
REVISIONS:	

NO.	DESCRIPTION	DATE

SHEET NUMBER:

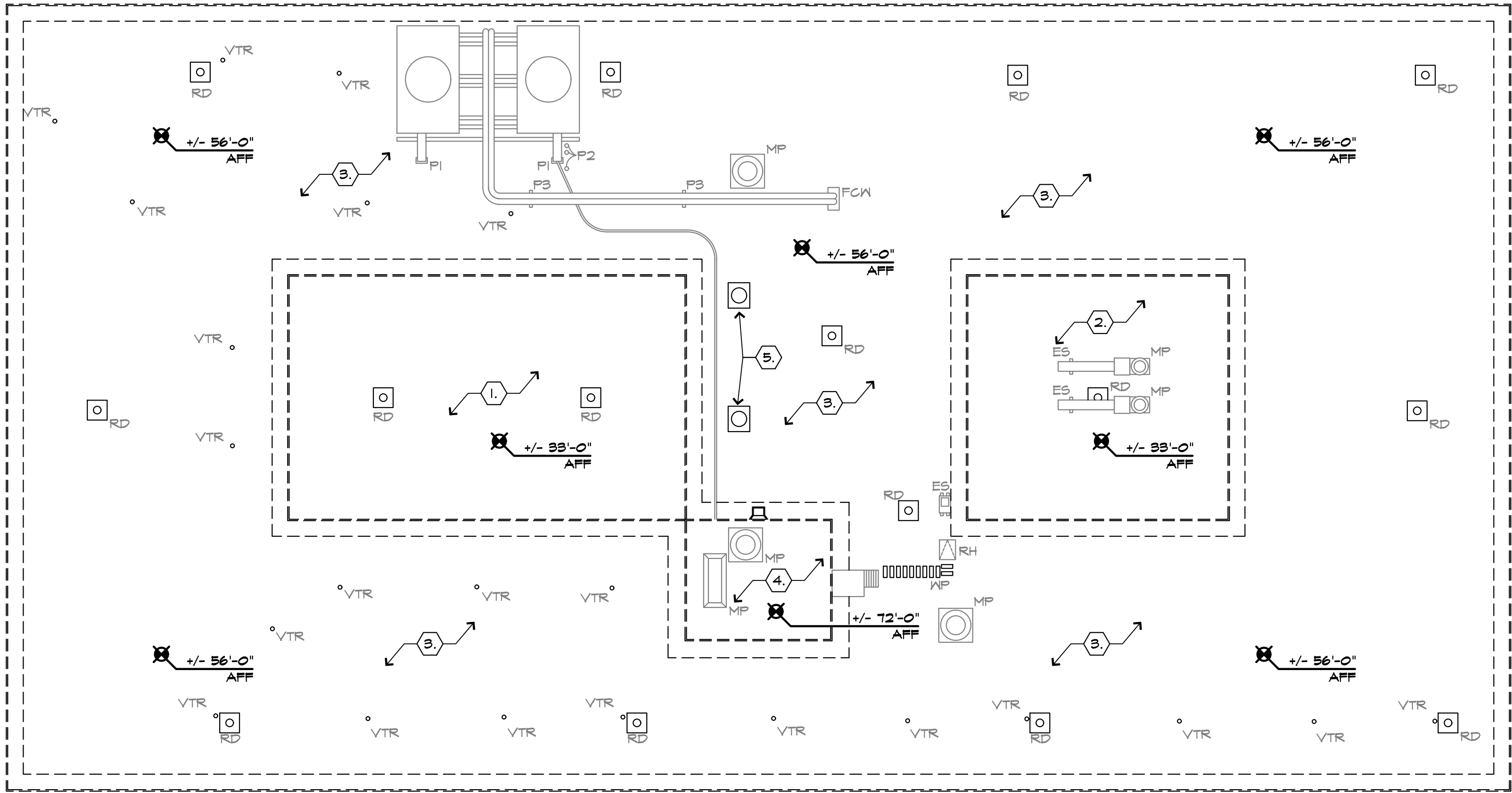
A1.1



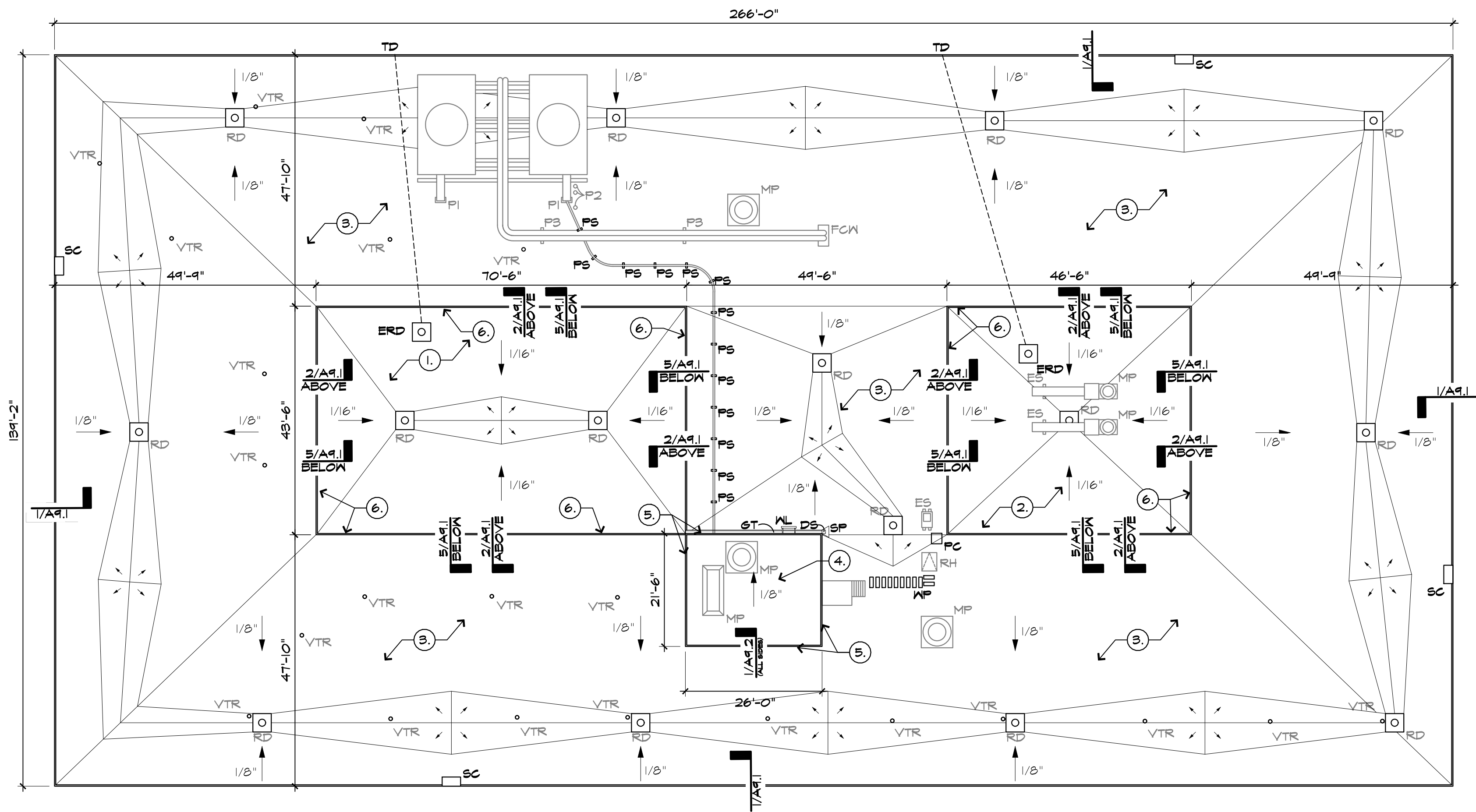
1 SITE MAP  
NOT TO SCALE

1 STAGING AREA: 6' TALL TEMPORARY METAL FENCING ON STANDS TO BE INSTALLED WHEN IN USE.





1 DEMO ROOF PLAN  
SCALE: 1/16"=1'-0"



2 NEW ROOF PLAN  
SCALE: 1/16"=1'-0"

#### DEMO KEY NOTES

1. REMOVE EXISTING ROOFING SYSTEM DOWN TO STRUCTURAL CONCRETE IN THIS AREA. RE: ROOF ASSEMBLY "A", 3/A3.1.
2. REMOVE EXISTING ROOFING SYSTEM DOWN TO STRUCTURAL CONCRETE IN THIS AREA. RE: ROOF ASSEMBLY "B", 4/A3.1.
3. REMOVE EXISTING ROOFING SYSTEM DOWN TO ZONOLITE IN THIS AREA. RE: ROOF ASSEMBLY "C", 5/A3.1.
4. REMOVE EXISTING ROOFING SYSTEM DOWN TO ZONOLITE IN THIS AREA. RE: ROOF ASSEMBLY "D", 6/A3.1.
5. REMOVE EXISTING ABANDONED A/C EQUIPMENT & REFRIGERANT AND ELECTRIC LINES.

#### LEGEND

- PS PIPE SUPPORT - RE: 13/A4.1  
PC PIPE COVER - RE: 14/A4.1  
SP SPLASH PAN - RE: 10/A4.1  
MP MECHANICAL PENETRATION - RE: 8/A4.1 SIM.  
ES EQUIPMENT SUPPORT - RE: 15/A4.1  
FCW FLASHING AT CHILL WATER PENETRATION - RE: 16/A4.1  
DS DOWNSPOUT - RE: 9/A4.1  
GT GUTTER - RE: 9/A4.1  
RD ROOF DRAIN - RE: 11/A4.1

EMERGENCY ROOF DRAIN - RE: 12/A4.1 SIM. ROUTE THROUGH INTERSTITIAL SPACE TO NEW THRU-WALL DOWN SPOUT "TD" - RE: 3/A4.2. SET HEIGHT OF ERD AND LOCATION OF TD IN FIELD W/ ARCHITECT. PLUMBER TO COORDINATE LOCATION OF ROOF DRAIN AND PATH OF DRAIN LINES WITH ULL STAFF & ARCHITECT. REMOVAL OF ASBESTOS IN THESE AREAS WILL ACCOMPLISHED BY ASBESTOS REMOVAL ENGINEER, AND CONTRACTOR NOT IN THIS CONTRACT. RE: 12/A4.2 FOR ACCESS POINTS FOR INSTALLATION OF EMERGENCY ROOF DRAINS AND LOCATION OF ASBESTOS TO BE ABATED.

- VTR VENT THROUGH ROOF - RE: 12/A4.1  
TD NEW THRU-WALL DOWN SPOUT IN THIS AREA - RE: 4/A4.2  
SC NEW OVERFLOW SCUPPER IN THIS AREA - RE: 11/A4.2  
RH ROOF HATCH - RE: 8/A4.1  
WL WALL-MOUNTED LADDER - RE: 218/A4.2  
MP WALK PADS - RE: SPECIFICATIONS  
P1 PENETRATION TYPE 1 - RE: 5/A4.2  
P2 PENETRATION TYPE 2 - RE: 6/A4.2  
P3 PENETRATION TYPE 3 - RE: 17/A4.1

- 1/8" XX" ELEVATION  
5'-0" DIMENSION  
X/A4.1 DETAIL SECTION

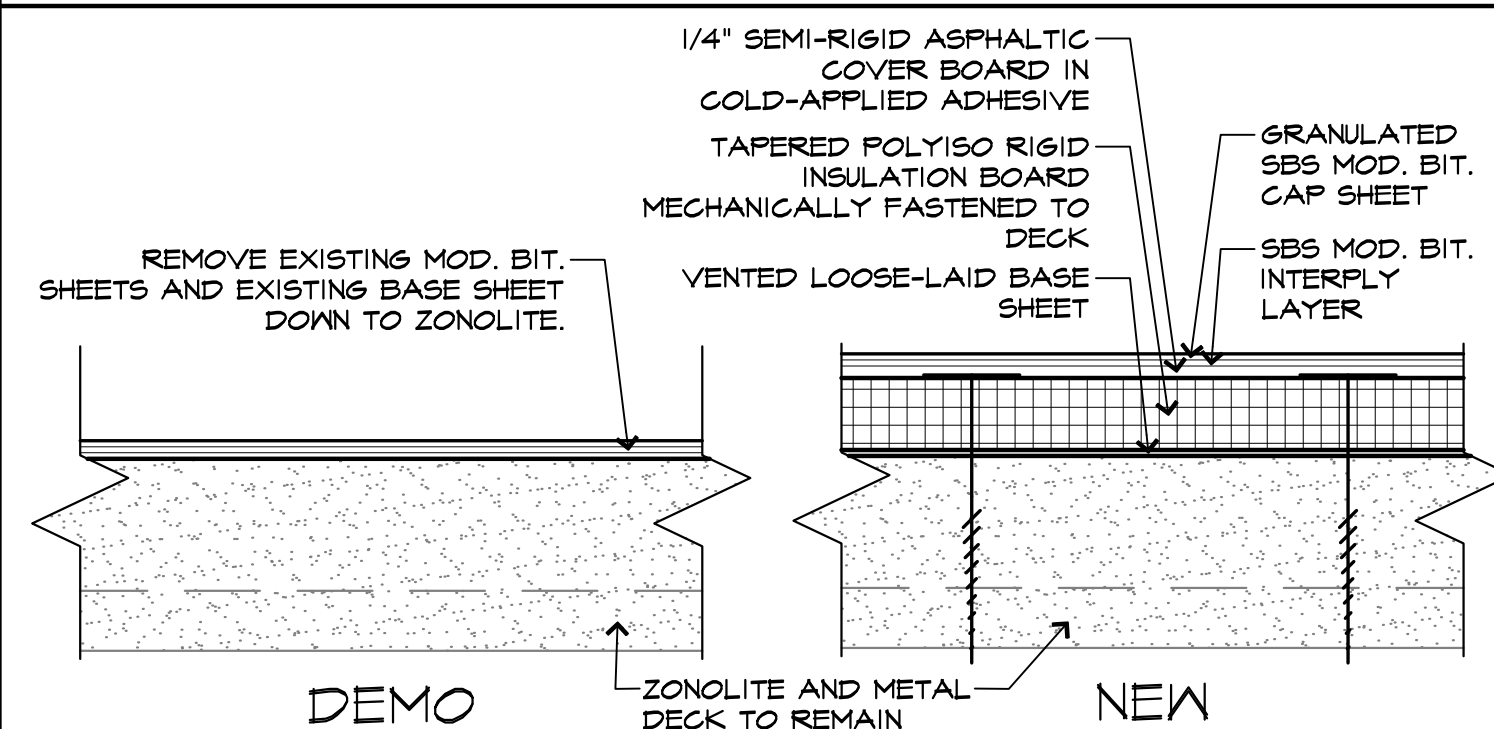
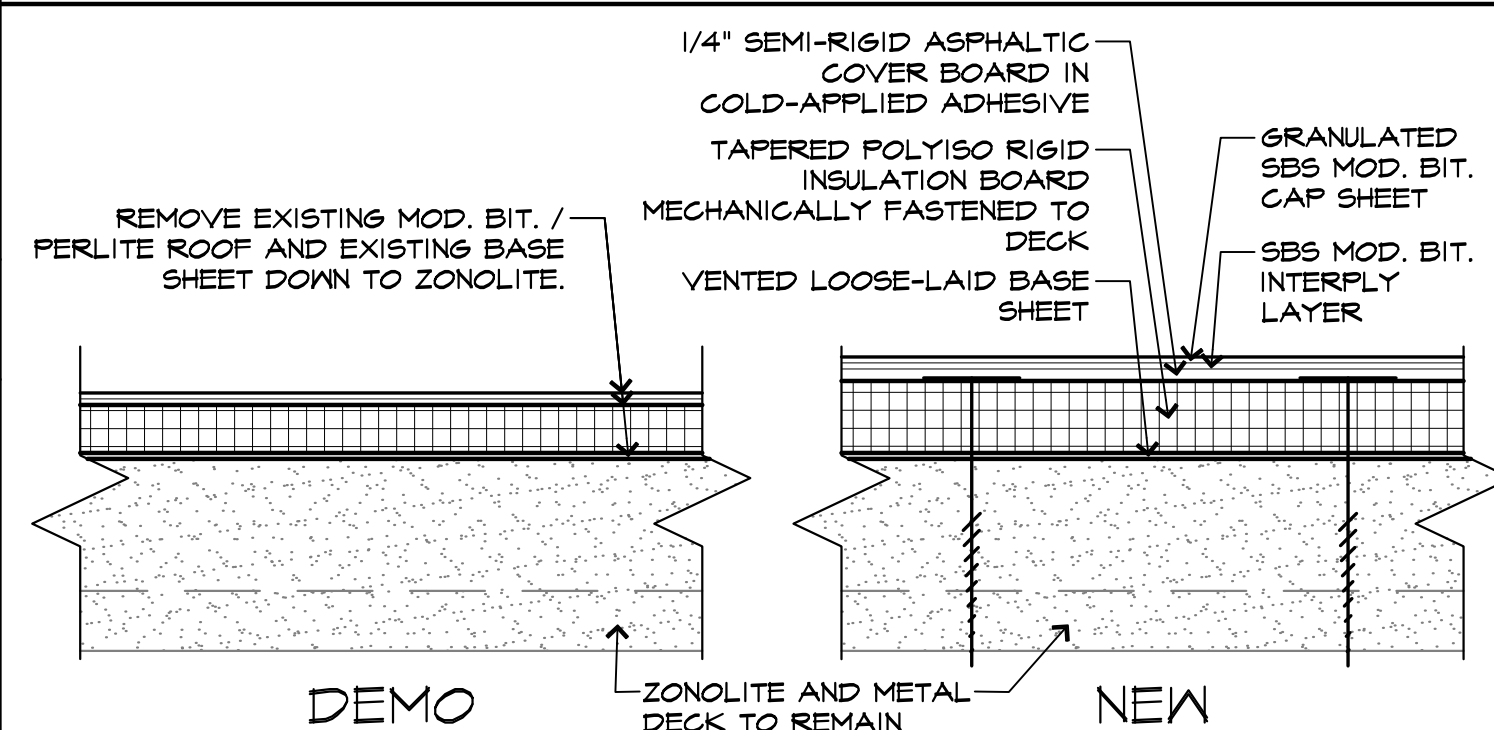
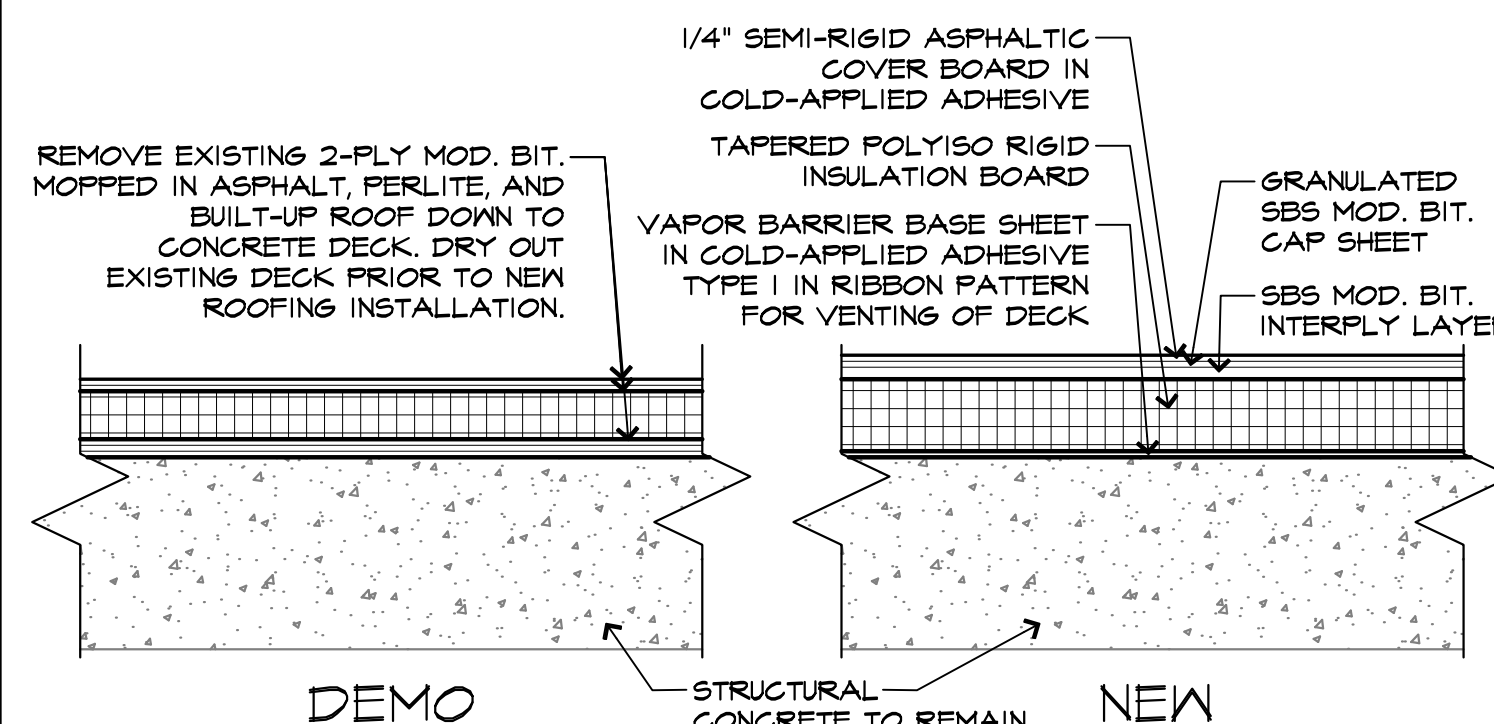
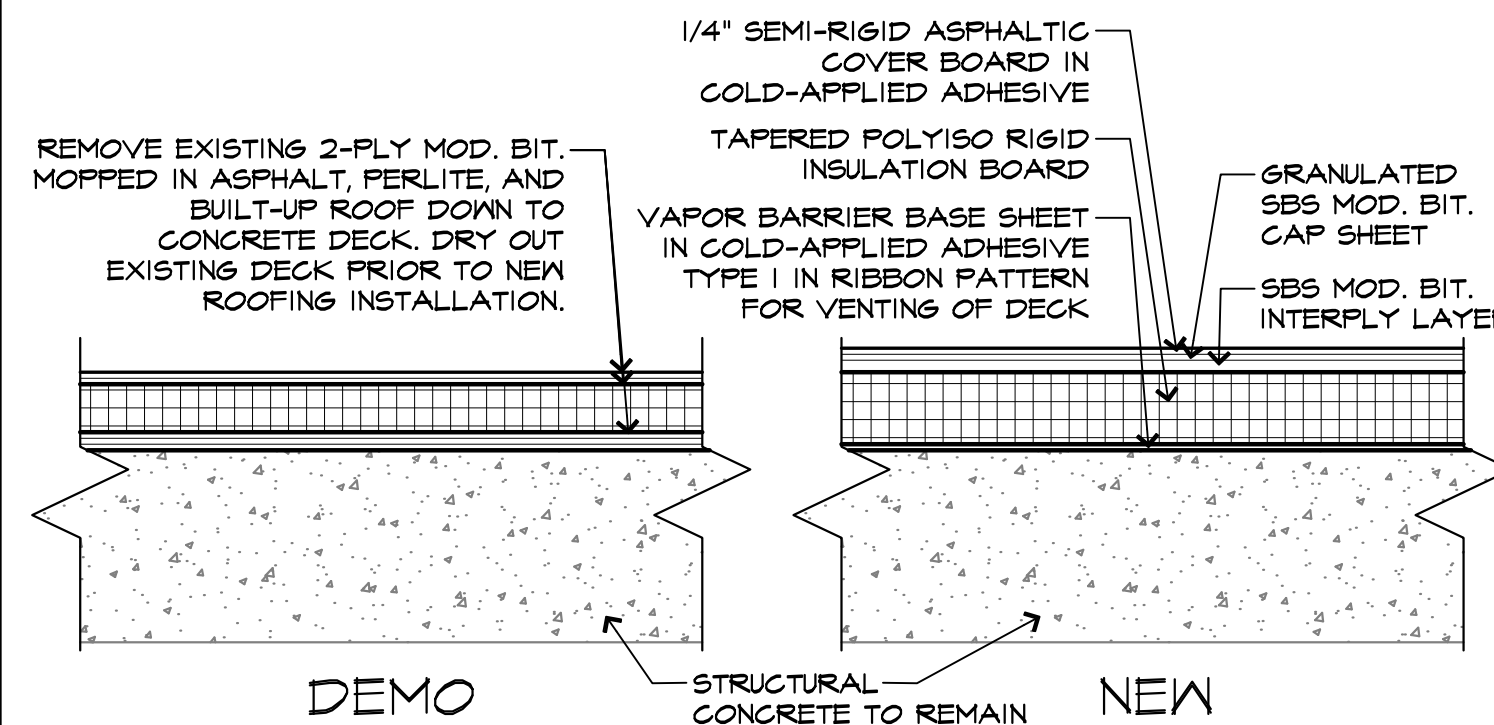
#### NEW KEY NOTES

1. INSTALL NEW SBS MODIFIED BITUMEN ROOFING SYSTEM IN THIS AREA - RE: ROOF ASSEMBLY "A", 3/A3.1.  
TOTAL AREA OF INDICATED ROOF IS +/- 3,061 SQ. FT.
2. INSTALL NEW SBS MODIFIED BITUMEN ROOFING SYSTEM IN THIS AREA - RE: ROOF ASSEMBLY "B", 4/A3.1.  
TOTAL AREA OF INDICATED ROOF IS +/- 2,023 SQ. FT.
3. INSTALL NEW SBS MODIFIED BITUMEN ROOFING SYSTEM IN THIS AREA - RE: ROOF ASSEMBLY "C", 5/A3.1.  
TOTAL AREA OF INDICATED ROOF IS +/- 3,130 SQ. FT.
4. INSTALL NEW SBS MODIFIED BITUMEN ROOFING SYSTEM IN THIS AREA - RE: ROOF ASSEMBLY "D", 6/A3.1.  
TOTAL AREA OF INDICATED ROOF IS +/- 554 SQ. FT.
5. PROVIDE FLUID-APPLIED WATERPROOFING COATINGS AND METAL PANELS OVER EXISTING BRICK COMPOSITE WALL. RE: 1/A4.2 FOR DETAILS AND SPECIFICATION SECTIONS 071416 & 074213.13 FOR REQUIRED ACCESSORIES.
6. RE: A4.1 FOR EXTERIOR WALL REPAIR WORK IN THIS AREA.

\*AREAS PROVIDED IN NOTES ABOVE ARE A GENERAL APPROXIMATION INCLUDED FOR ESTIMATION PURPOSES ONLY.

#### GENERAL NOTES

1. IT IS THE INTENTION OF THESE PLANS AND SPECIFICATIONS THAT THE ROOFING OF THIS BUILDING BE COMPLETE IN EVERY WAY. IF ANY DETAILS ARE MISSING, IT SHALL BE BUILT IN A MANNER TO MEET THE ROOF MANUF. RECOMMENDATIONS AND/OR SMACNA MANUAL FOR METAL WORK.
2. ALL METAL DETAILING SHALL MEET OR EXCEED SMACNA MANUAL DETAILS MOST CLOSELY MATCHING THE CONDITIONS.
3. ROOF PLANS ARE APPROXIMATE AND MUST BE VERIFIED BY EACH BIDDER.
4. CONTRACTOR SHALL CAREFULLY COORDINATE HIS WORK TO CONTROL SURFACE IRREGULARITIES SUCH THAT THERE WILL BE NO STANDING WATER ON ROOF.
5. PROVIDE FLEXIBLE FLASHINGS AND OTHER PRECAUTIONS SUCH THAT ROOF EDGES AND CONTROL JOINTS ARE WEATHER TIGHT AT THE END OF EACH DAY.
6. INSTALL ALL ROOFING MEMBRANES, INSULATION, SHEET METAL, AND DEVICES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
7. SUBMIT SHOP DRAWINGS FOR APPROVAL OF ALL MATERIALS INTENDED FOR USE ON THIS PROJECT. PROVIDE WIND CALCULATIONS MEETING IBC REQUIREMENTS.
8. WARRANTY SHALL BE A 20 YEAR NDL - EDGE TO EDGE MANUFACTURER'S WARRANTY FROM THE DATE OF ACCEPTANCE.

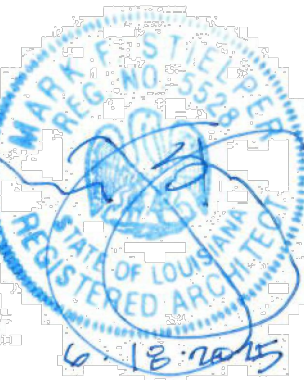


#### UL LAFAYETTE AGNES EDWARDS HALL RE-ROOF 2024

110 REX STREET  
LAFAYETTE, LA 70503

#### SCHEDULE OF BASE BID AND ALTERNATES

BASE BID:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED TO RE-ROOF AREAS "A", "B", "C", AND "D".
ALT. 01:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR PROVIDING WALL-MOUNTED LADDER AND REPAIRS TO PENTHOUSE.
ALT. 02:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR BRICK REPAIR AND SILICONE ELASTOMERIC COATING AS INDICATED ON ELEVATIONS 2-9/A4.1.



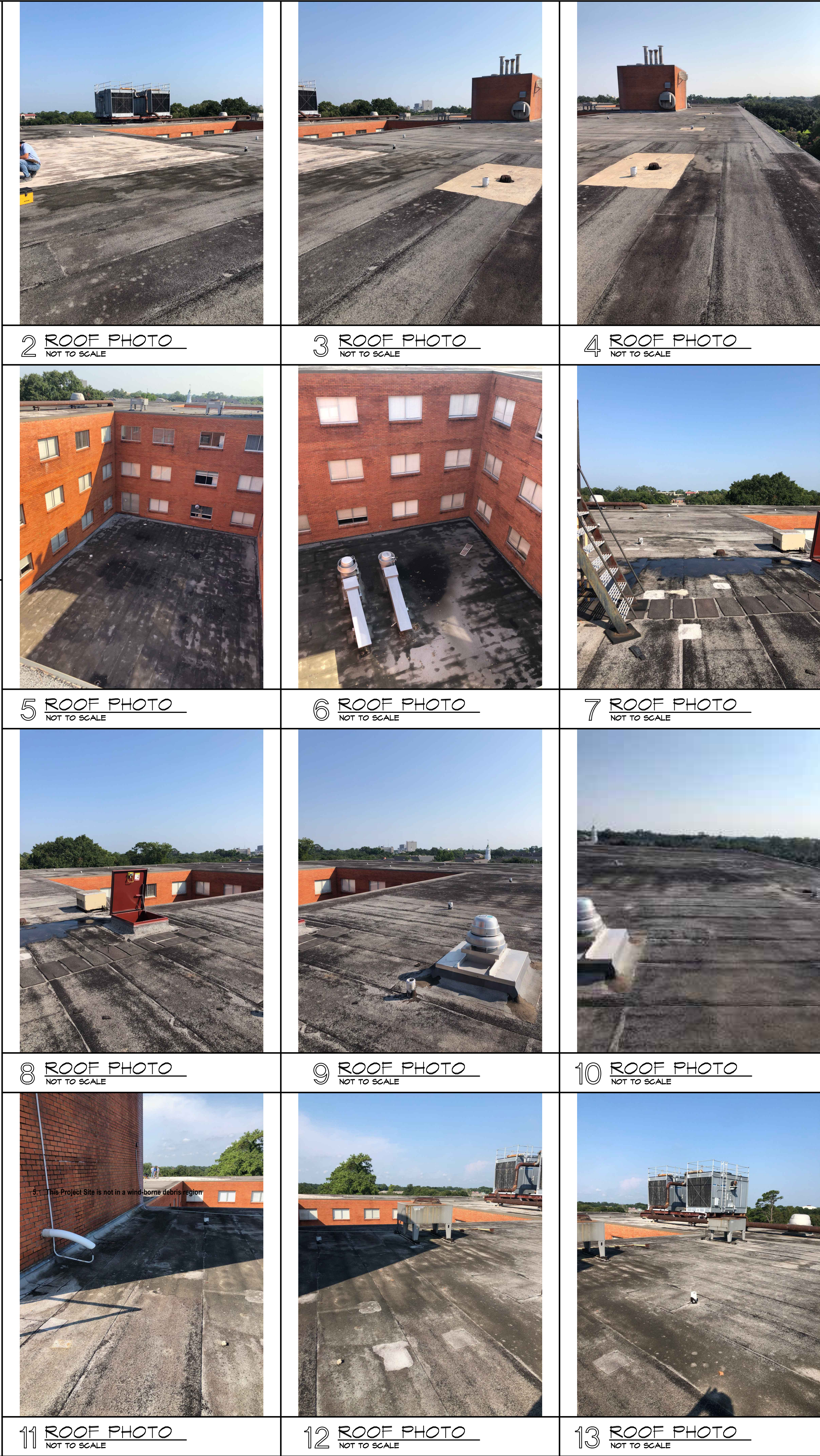
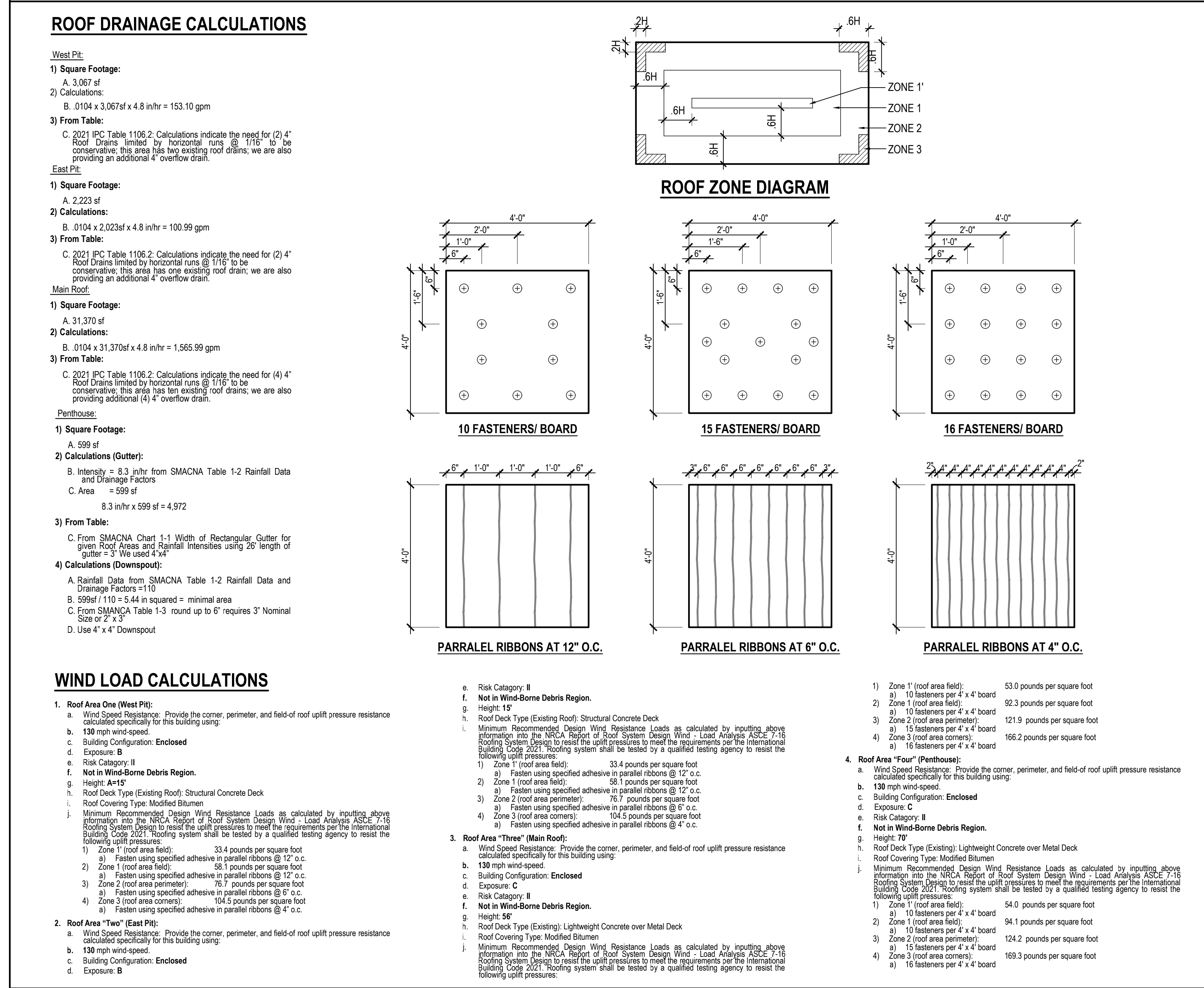
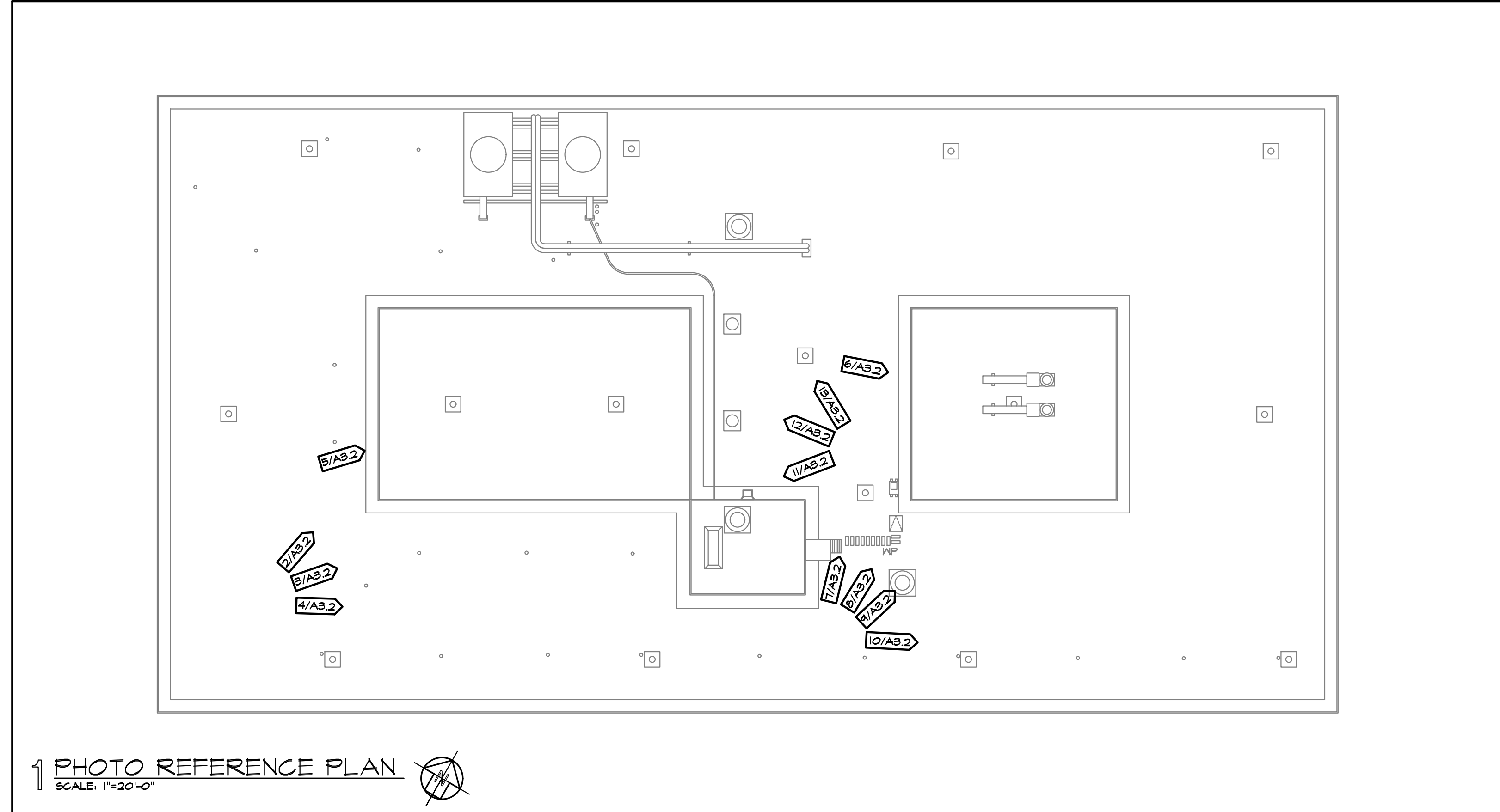
PROJECT NUMBER:	224-17_00
DATE:	JUNE 2025
DRAWN BY:	ZB
CHECKED BY:	MS
REVISIONS:	

NO.	DESCRIPTION	DATE

SHEET NUMBER:

A3.1





ARCHITECTURE | INTERIOR DESIGN

**MBSB GROUP**

101 LA RUE FRANCE, SUITE 205  
LAFAYETTE, LOUISIANA 70508  
(337)237-2770 FAX (337)237-2772

**UL LAFAYETTE  
AGNES EDWARDS HALL  
RE-ROOF 2024**

**110 REX STREET  
LAFAYETTE, LA 70503**

**SCHEDULE OF BASE BID AND ALTERNATES**

BASE BID:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED TO RE-ROOF AREAS "A", "B", "C", AND "D".
ALT. 01:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR PROVIDING WALL-MOUNTED LADDER AND REPAIRS TO PENTHOUSE.
ALT. 02:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR BRICK REPAIR AND SILICONE ELASTOMERIC COATING AS INDICATED ON ELEVATIONS 2-9/A4.1.

PROJECT NUMBER: 224-17\_00  
DATE: JUNE 2025  
DRAWN BY: ZB  
CHECKED BY: MS

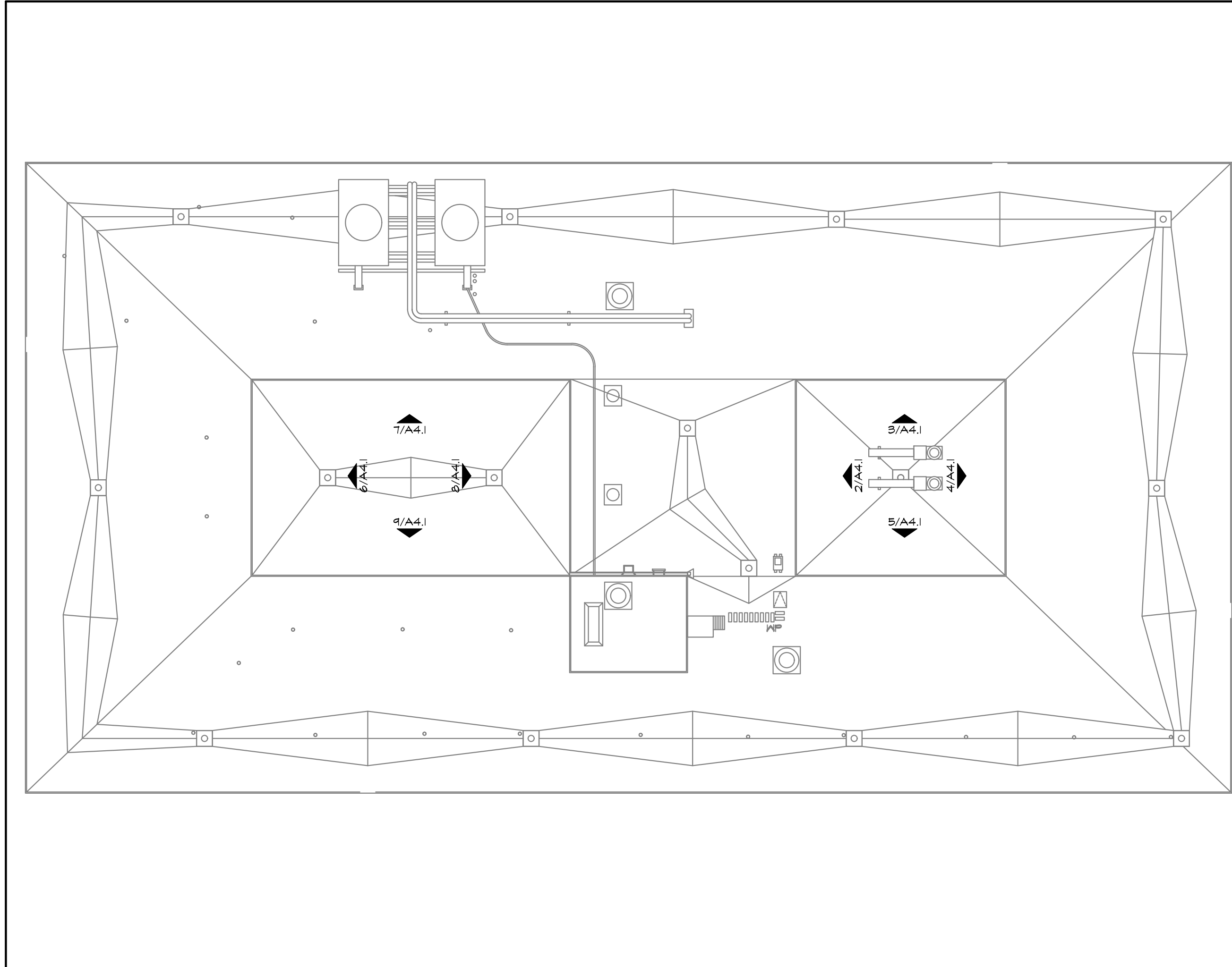
REVISIONS:

NO.	DESCRIPTION	DATE

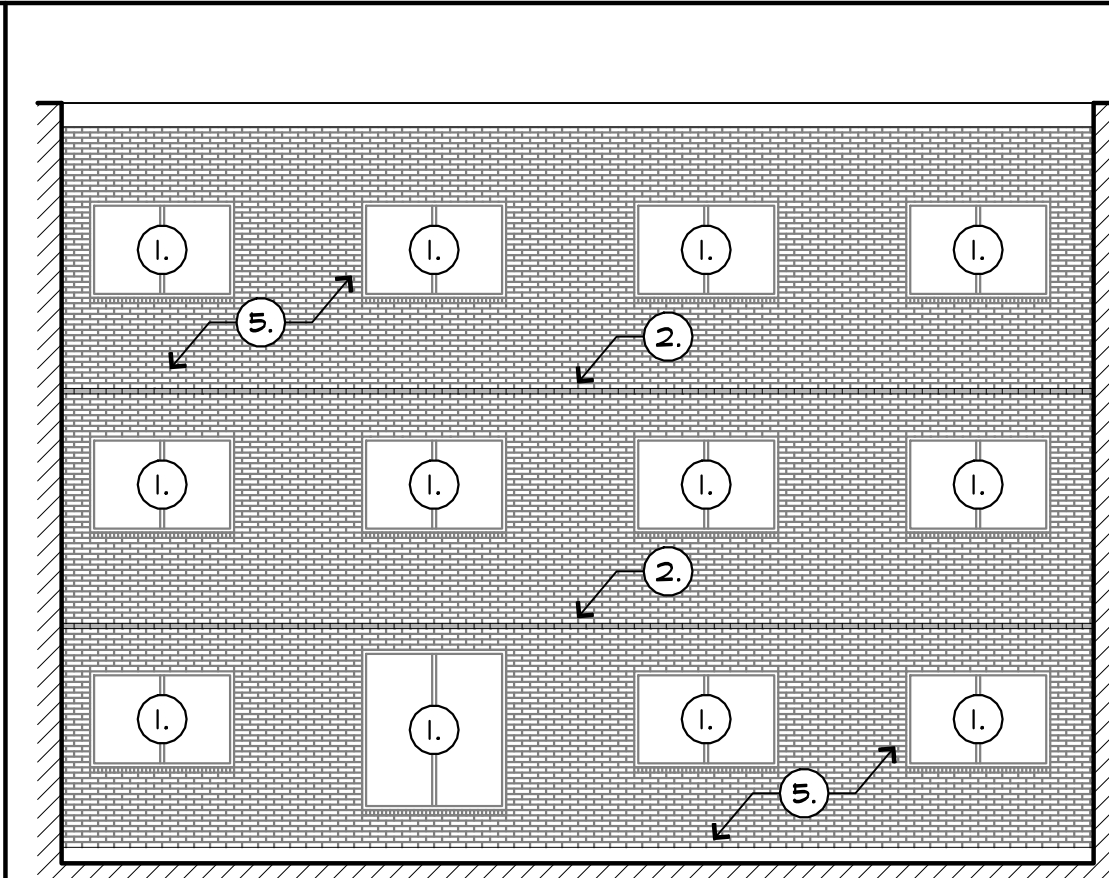
SHEET NUMBER:  
**A3.2**

COPYRIGHT: 2025 MBSB GROUP

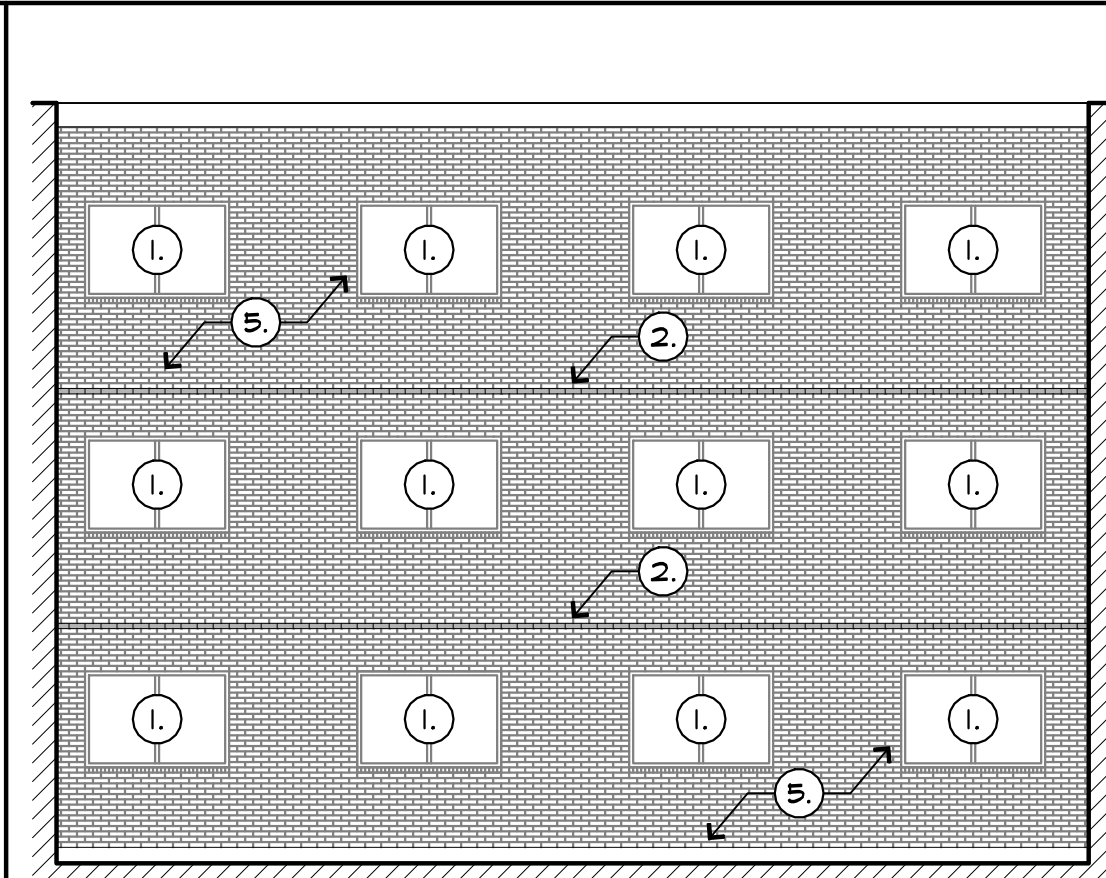




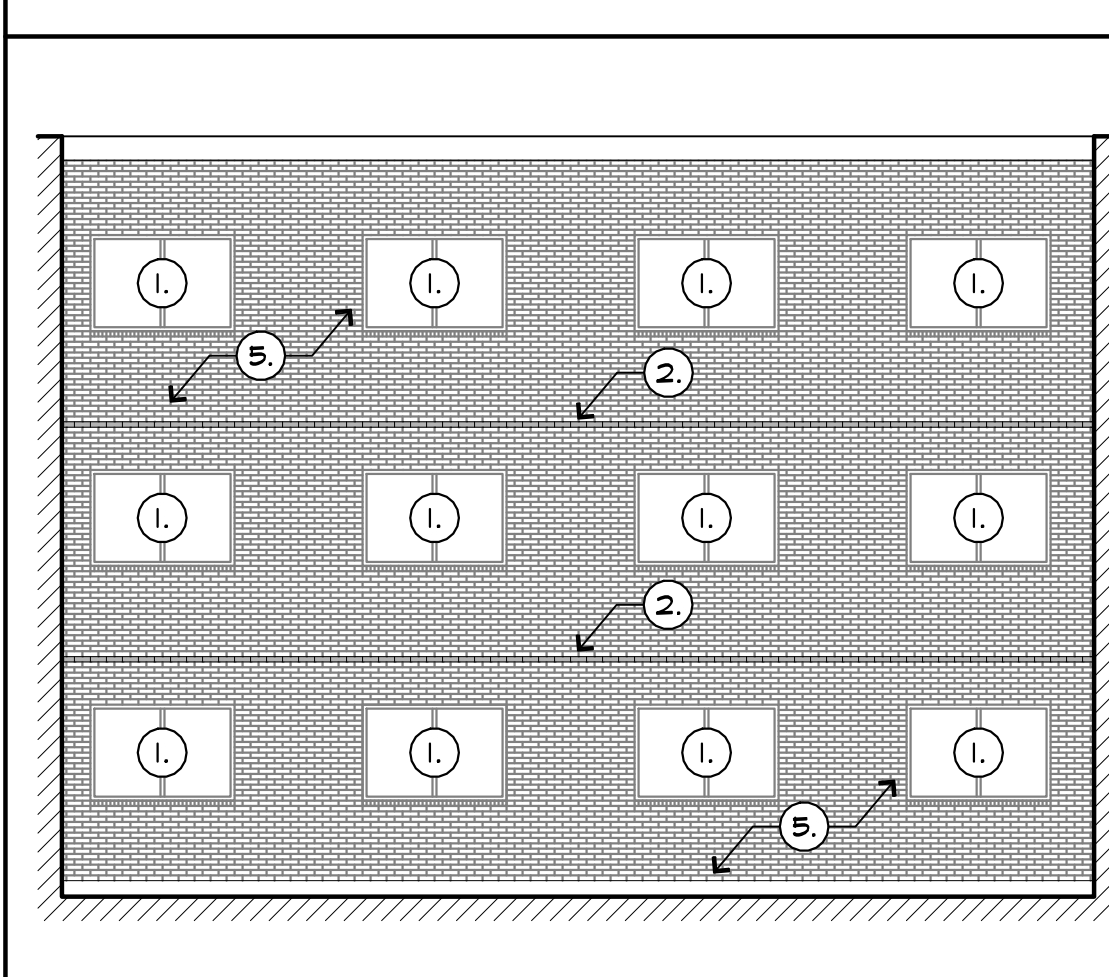
1 REFERENCE PLAN  
SCALE: 1"=20'-0"



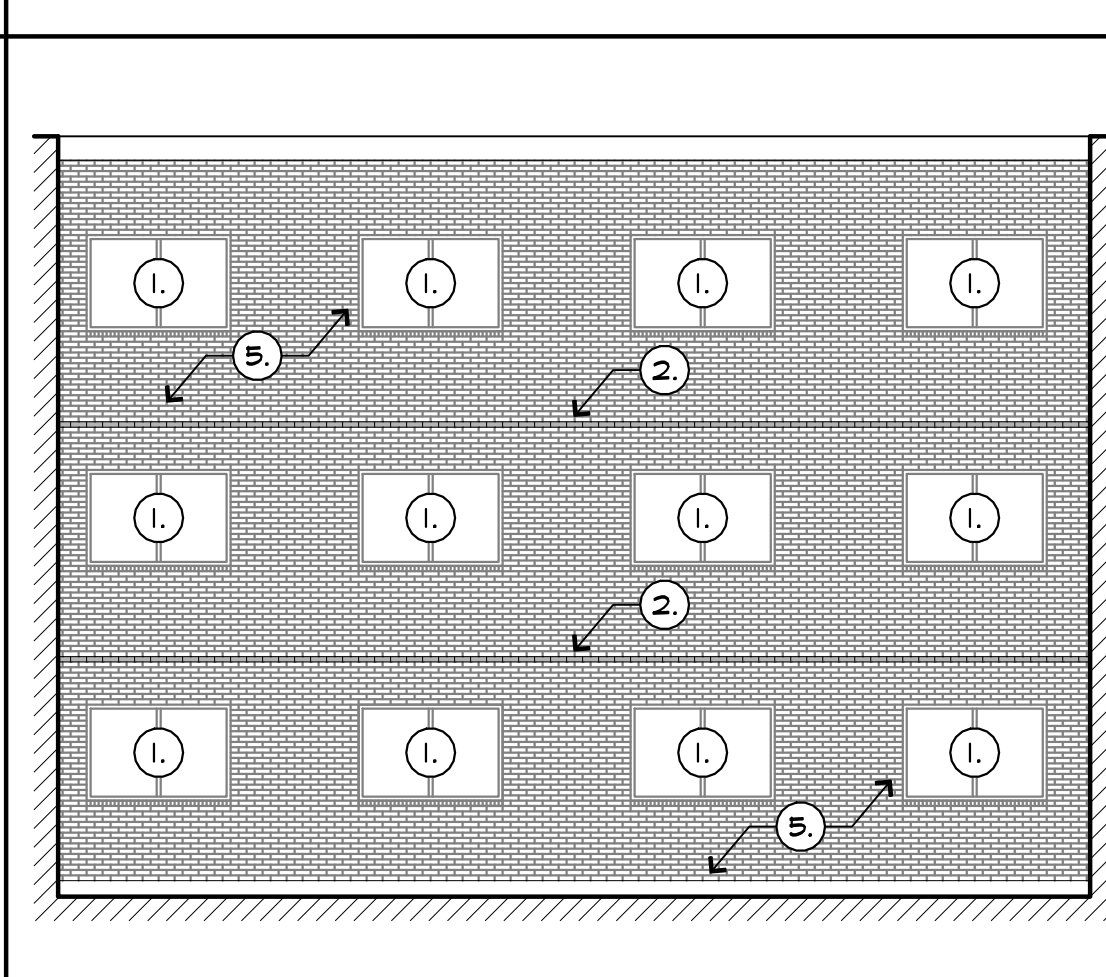
2 WEST ELEVATION  
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



4 EAST ELEVATION  
SCALE: 1/8"=1'-0"



5 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

KEY NOTES

- EXISTING WINDOW TO REMAIN. RE-SEAL AROUND ENTIRE PERIMETER OF WINDOW AND REPAIR BRICK AT LINTEL WHERE DAMAGED - RE: T&B/A4.2.
- REPAIR DAMAGED, SPALLED, OR MISSING BRICK MASONRY AT FLOOR ANGLE - RE: 4&10/A4.2. APPROXIMATELY 10% OF THE LINEAR FOOTAGE ALONG THIS SHELF ANGLE AT THIS LEVEL IS DAMAGED - V.O.J.
- REPAIR DAMAGED, SPALLED, OR MISSING BRICK MASONRY AT FLOOR ANGLE - RE: 4&10/A4.2. APPROXIMATELY 25% OF THE LINEAR FOOTAGE ALONG THIS SHELF ANGLE AT THIS LEVEL IS DAMAGED - V.O.J.
- REMOVE EXISTING SLIDING GLASS DOOR. REPLACE WITH NEW 4' - 0" H X 6' - 0" W (MATCH EXISTING WINDOWS - V.O.J.) ALUMINUM STOREFRONT WINDOW AND INFILL OPENING WITH NEW BRICK - RE: 10/A4.1.
- POWER WASH AND CLEAN ALL EXISTING BRICK IN THIS AREA PER SPECIFICATIONS. MAKE REPAIRS TO DAMAGED BRICK PER BRICK DETAILS. PREPARE AND COAT EXISTING BRICK WITH SILICONE ELASTOMERIC SYSTEM PER SPECIFICATIONS.

ARCHITECTURE | INTERIOR DESIGN

**MBSB GROUP**

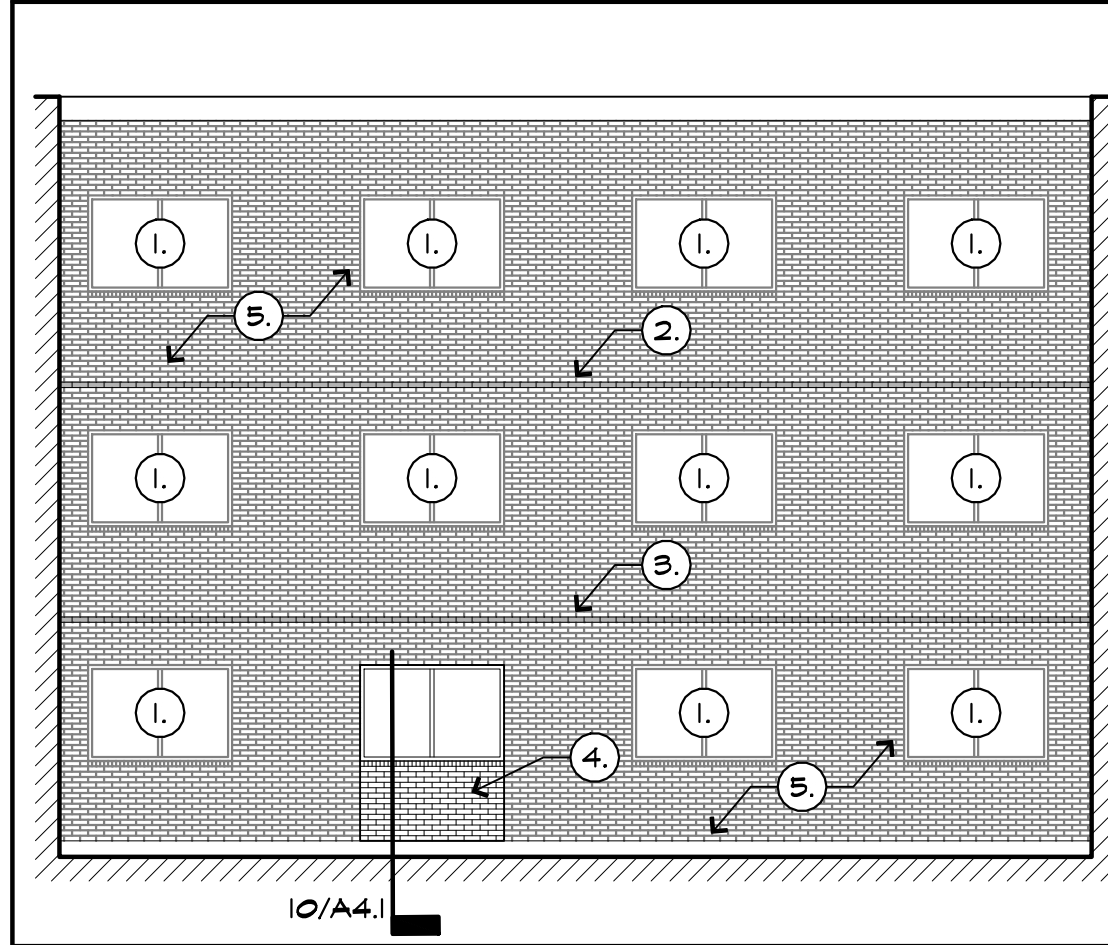
101 LA RUE FRANCE, SUITE 205  
LAFAYETTE, LOUISIANA 70508  
(337)237-2770 FAX (337)237-2772

**UL LAFAYETTE  
AGNES EDWARDS HALL  
RE-ROOF 2024**

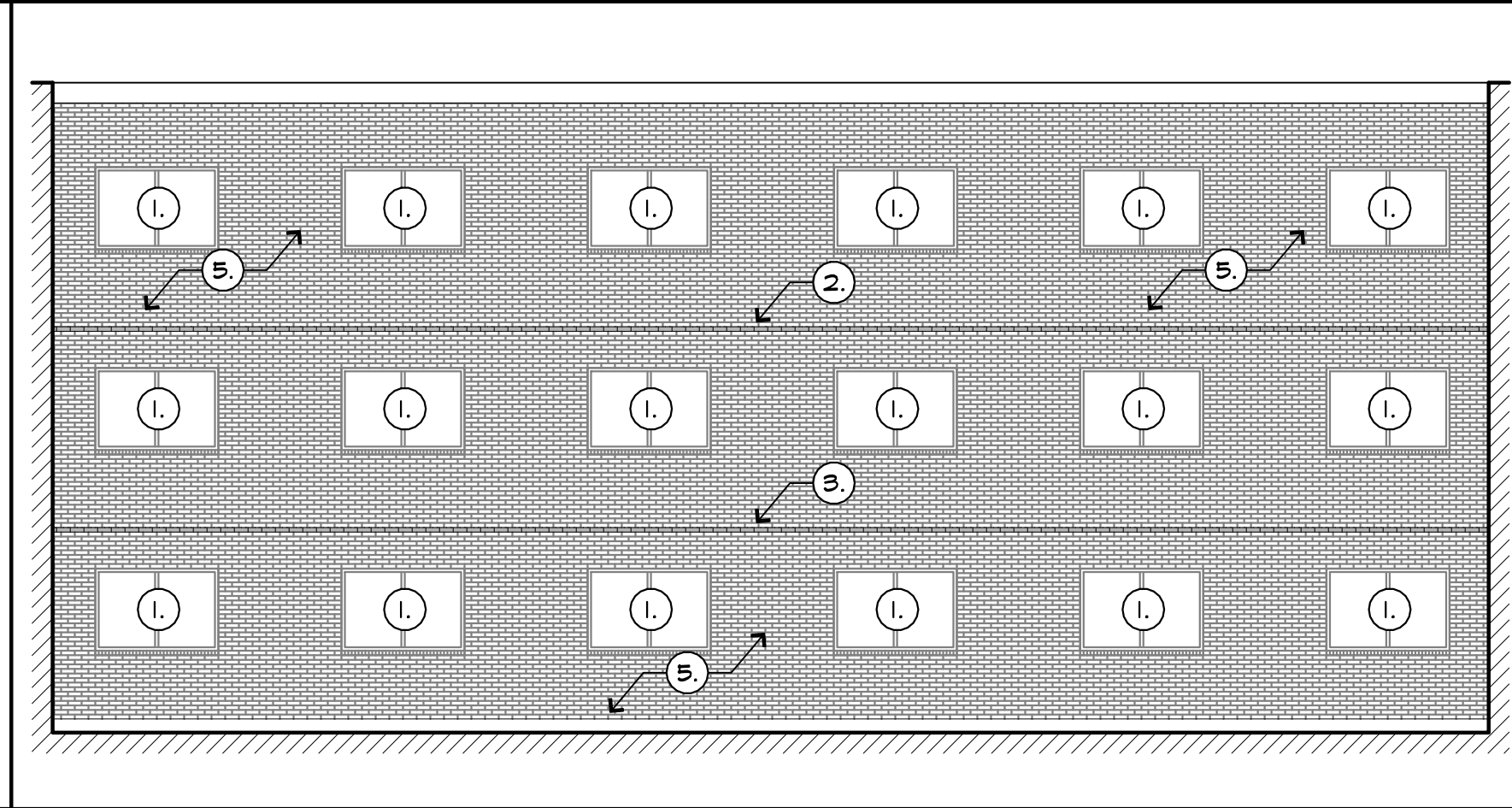
**110 REX STREET  
LAFAYETTE, LA 70503**

**SCHEDULE OF BASE BID AND ALTERNATES**

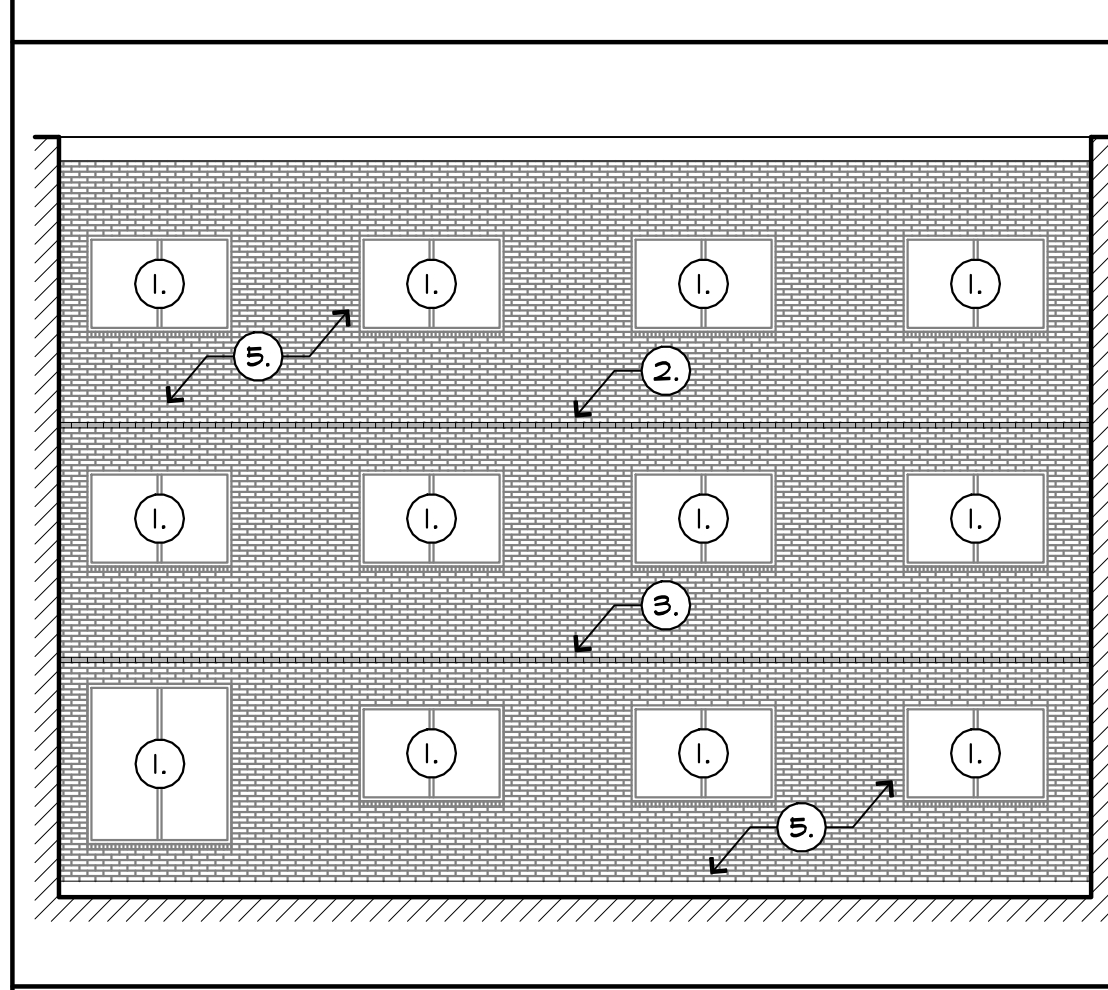
BASE BID:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED TO RE-ROOF AREAS "A", "B", "C", AND "D".
ALT. 01:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR PROVIDING WALL-MOUNTED LADDER AND REPAIRS TO PENTHOUSE.
ALT. 02:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR BRICK REPAIR AND SILICONE ELASTOMERIC COATING AS INDICATED ON ELEVATIONS 2-9/A4.1.



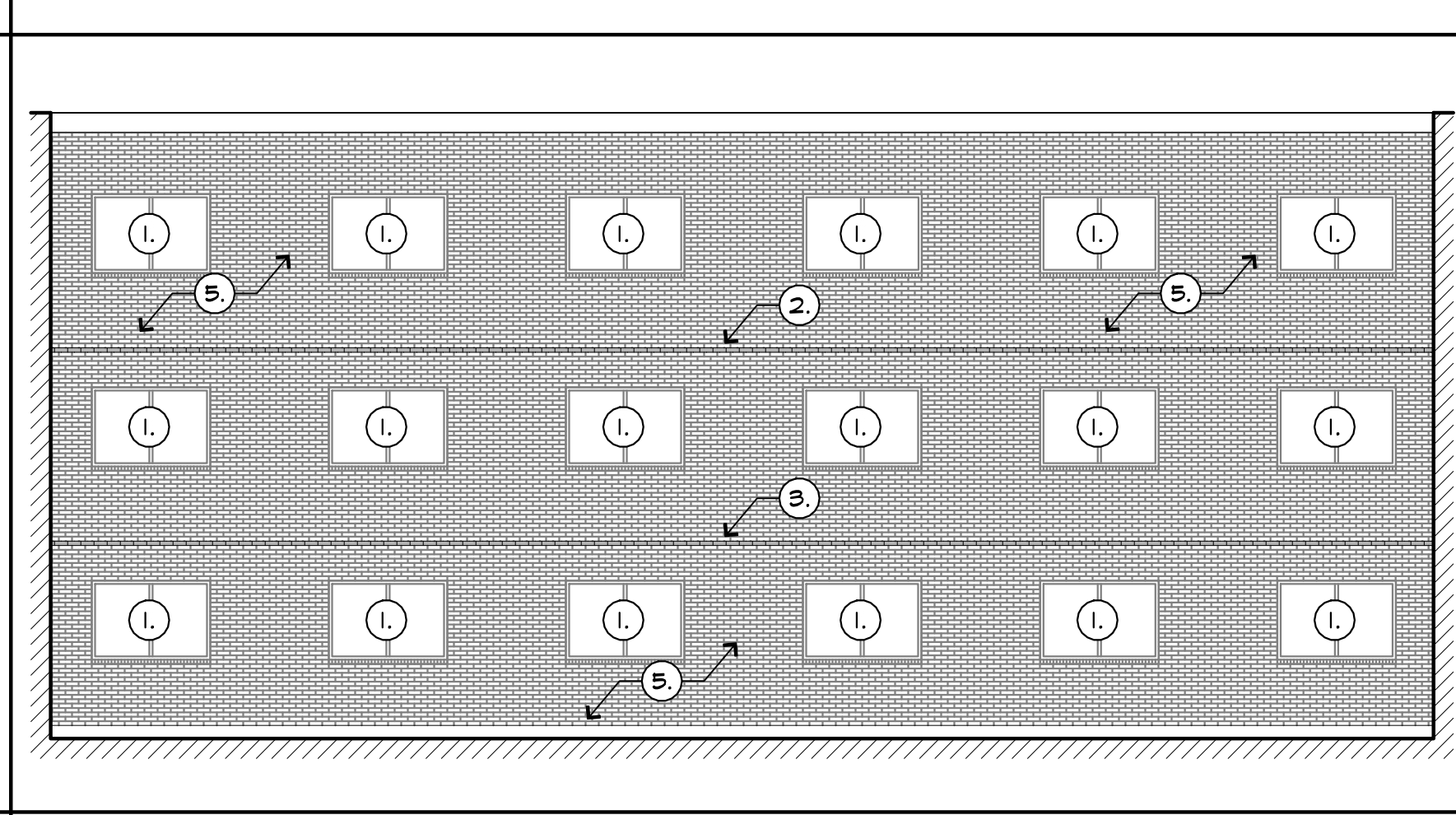
6 WEST ELEVATION  
SCALE: 1/8"=1'-0"



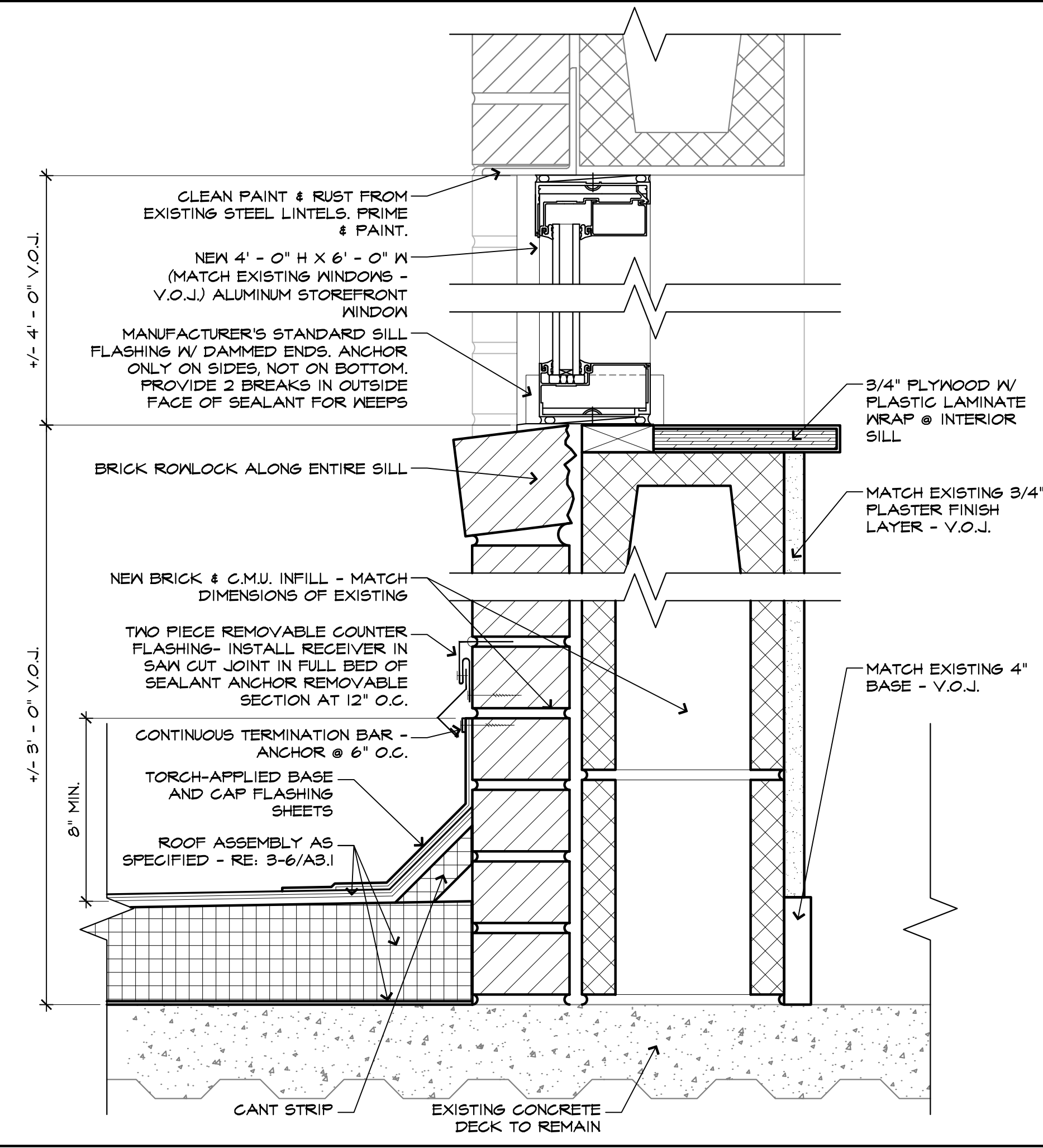
7 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



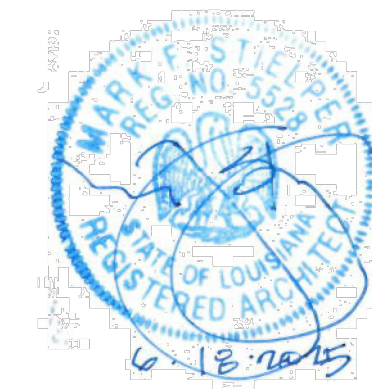
8 EAST ELEVATION  
SCALE: 1/8"=1'-0"



9 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



10 WALL INFILL DETAIL  
SCALE: 3/8"=1'-0"



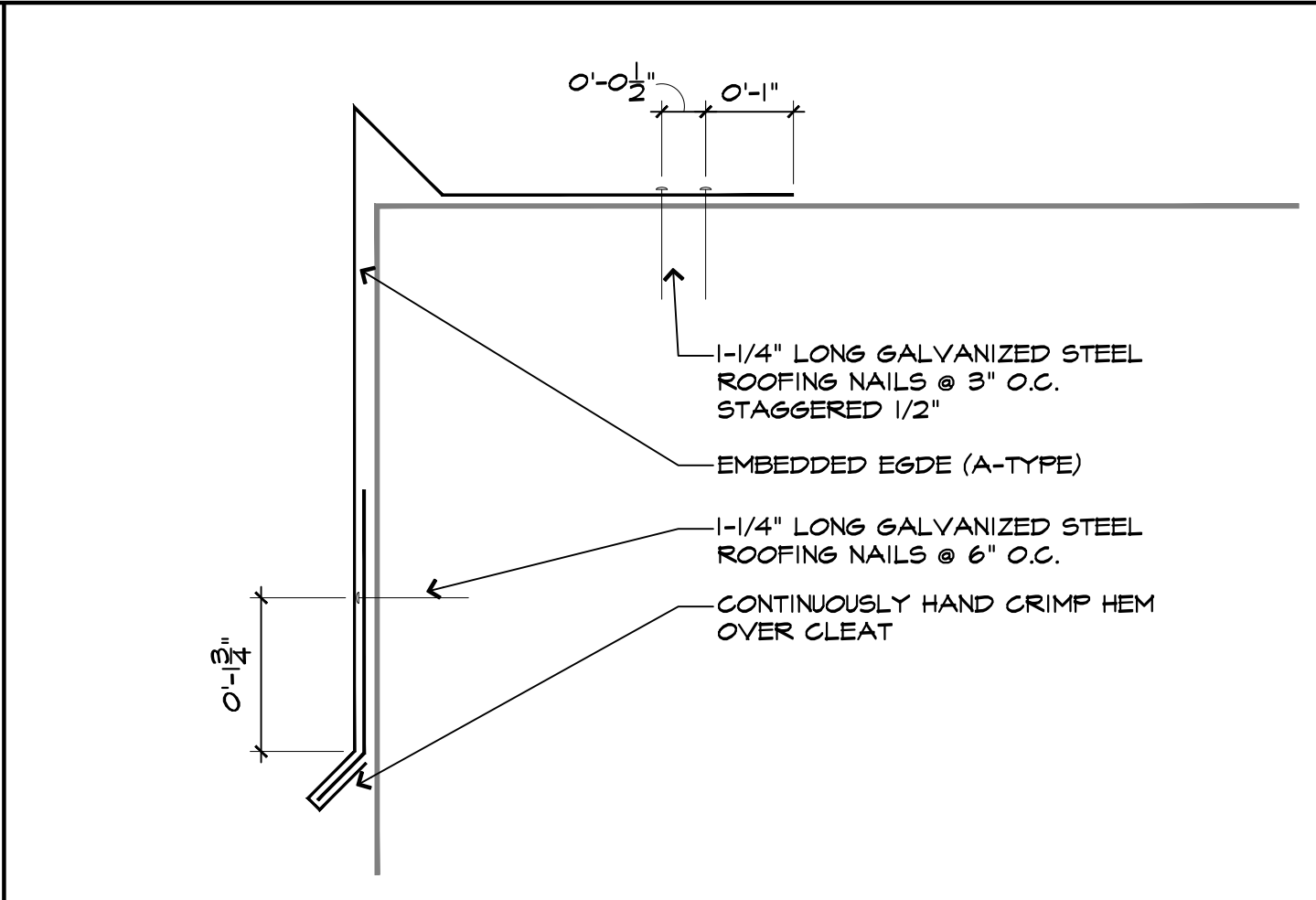
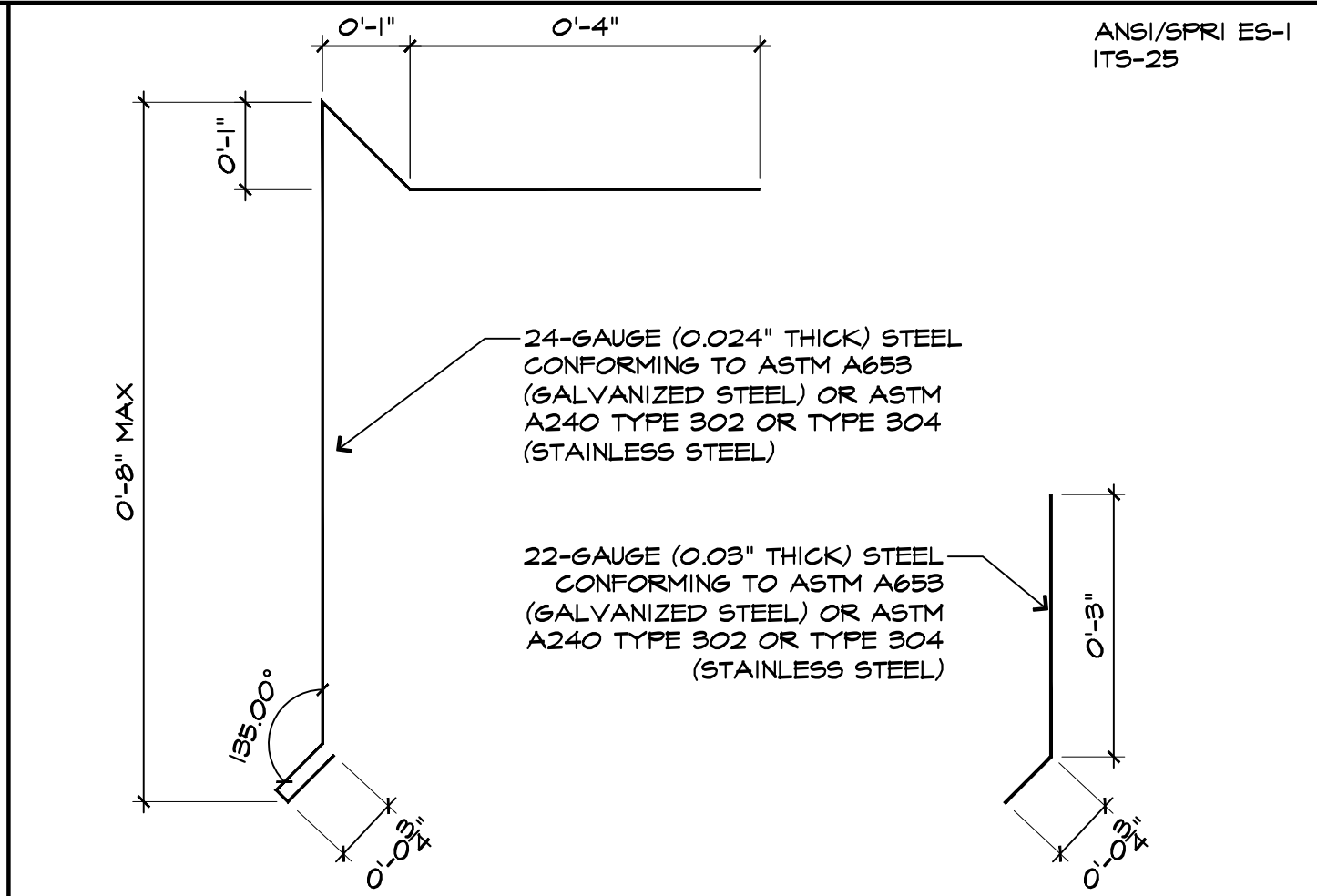
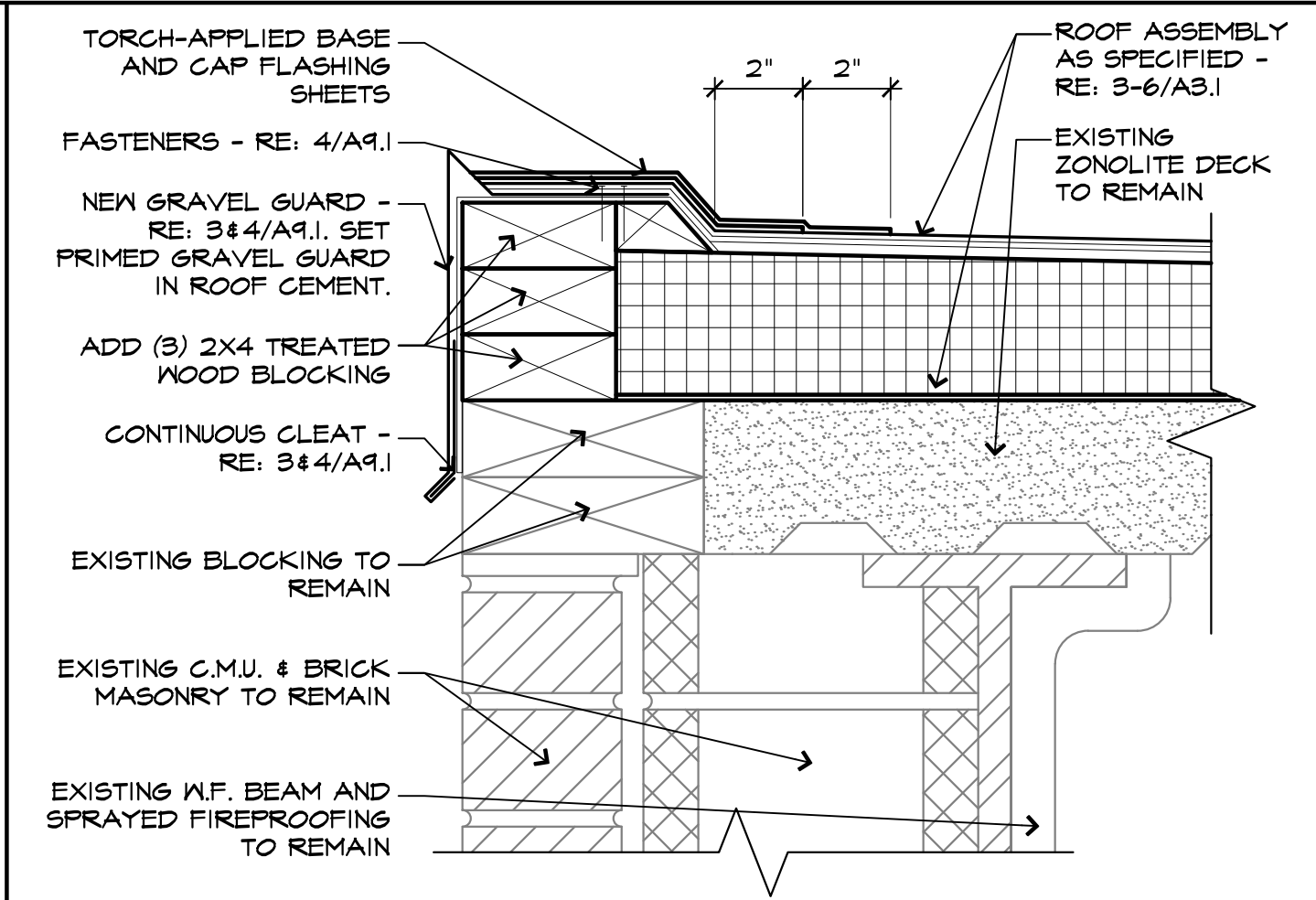
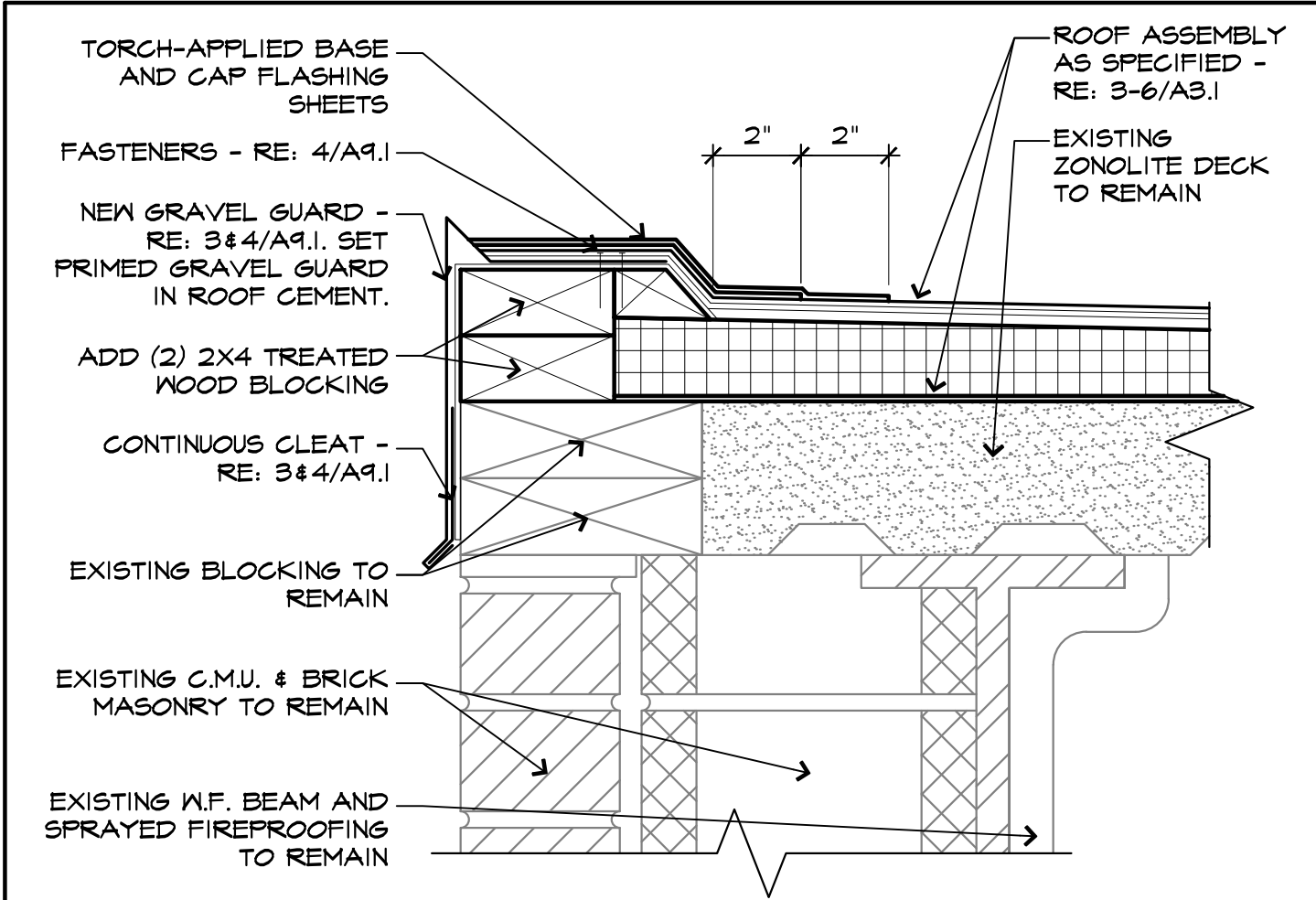
PROJECT NUMBER:		224-17_00
DATE:		JUNE 2025
DRAWN BY:		ZB
CHECKED BY:		MS
REVISIONS:		
NO.	DESCRIPTION	DATE

SHEET NUMBER:

**A4.1**

COPYRIGHT: 2025 MBSB GROUP



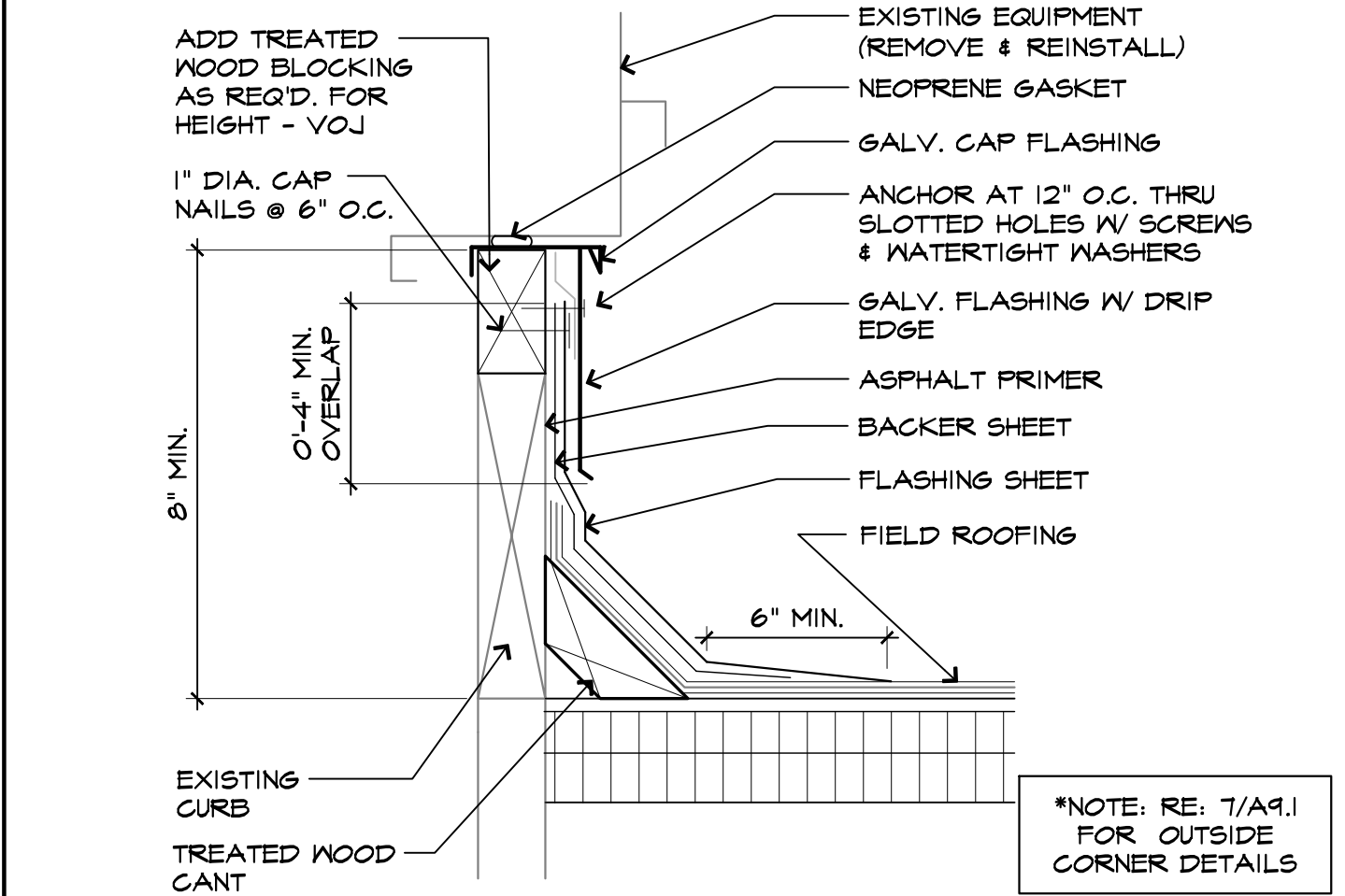
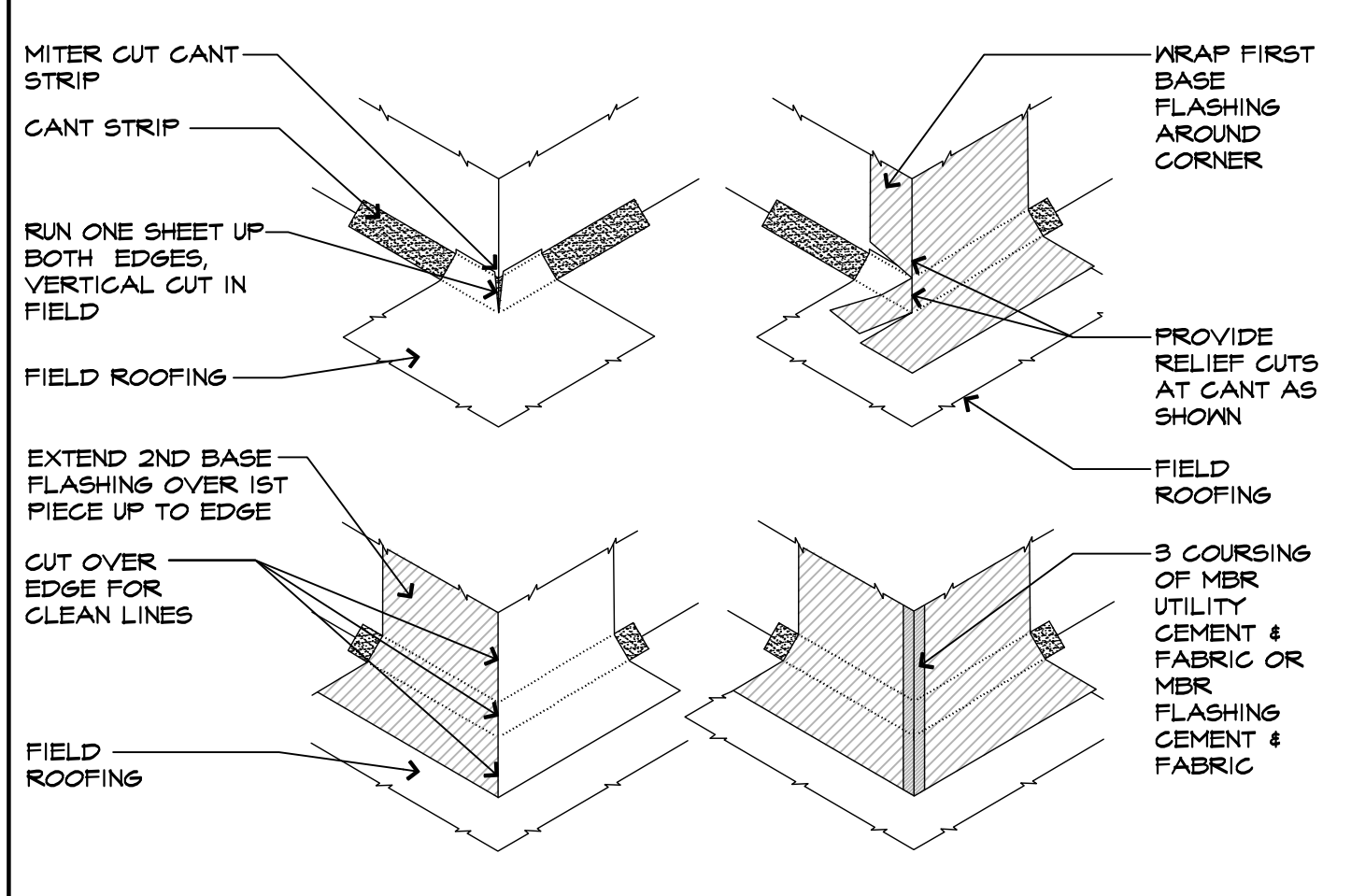
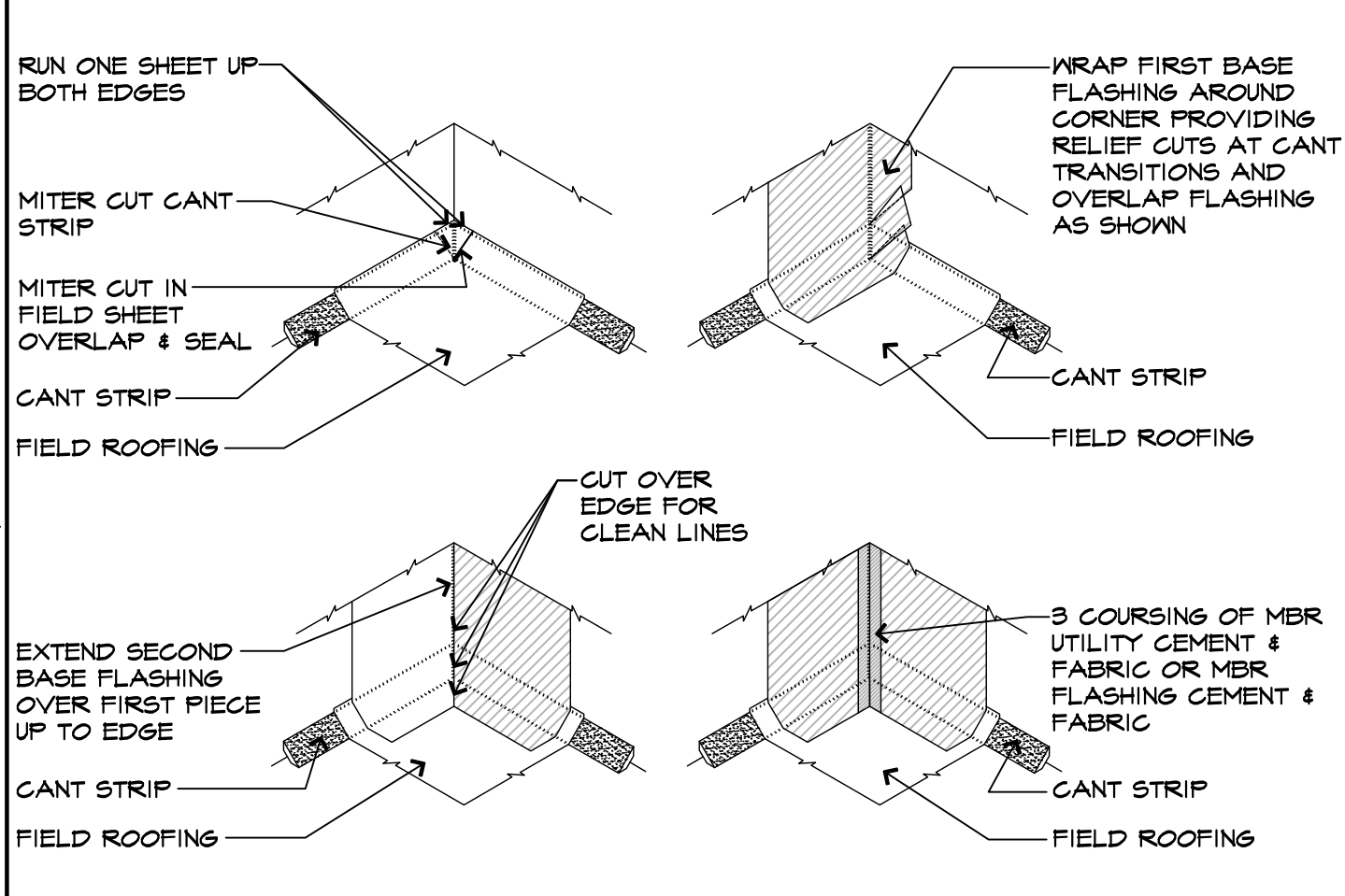
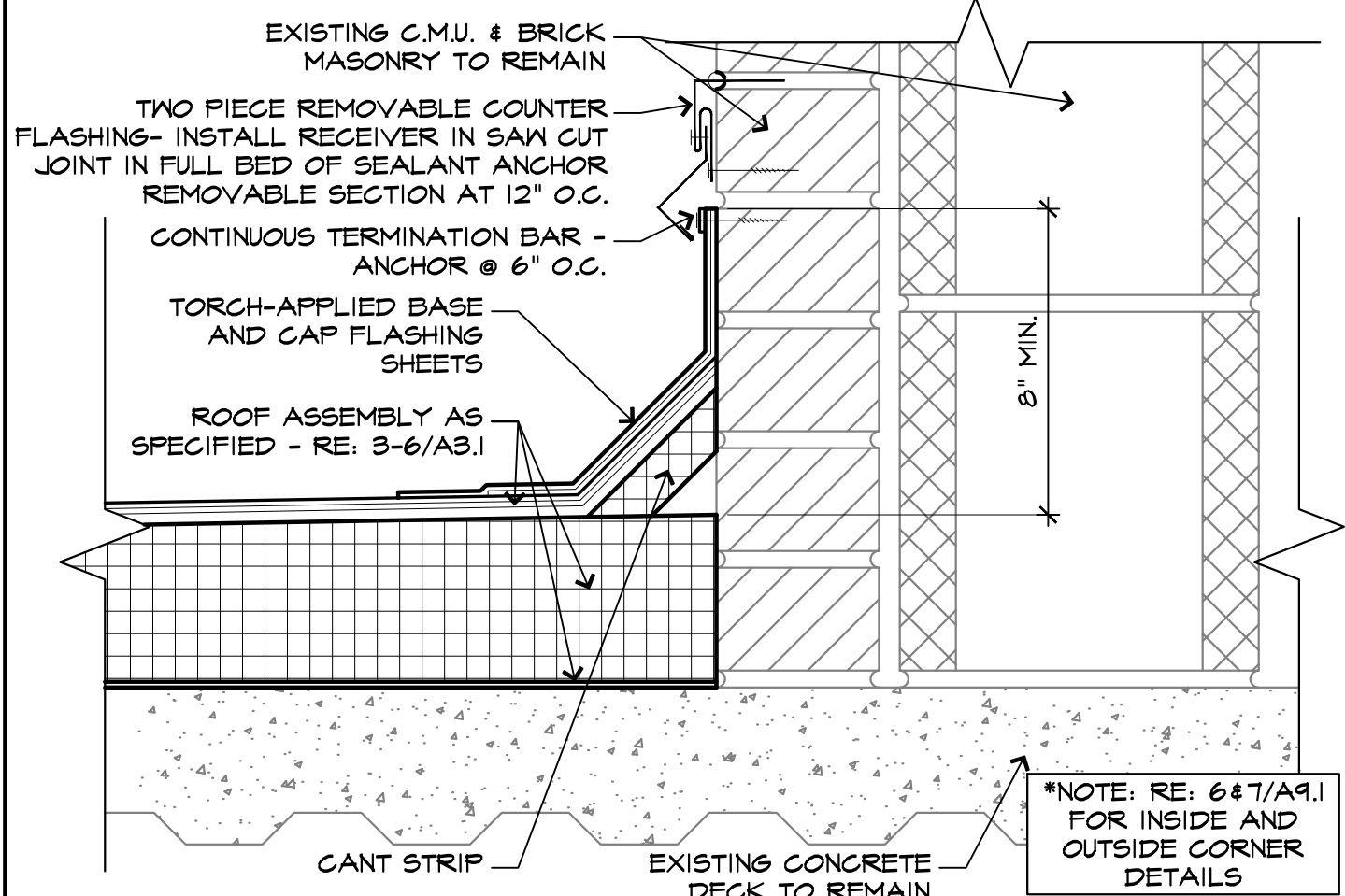


1 ROOF EDGE DETAIL  
SCALE: 3" = 1'-0"

2 ROOF EDGE DETAIL  
SCALE: 3" = 1'-0"

3 METAL EDGE FABRICATION  
SCALE: 6" = 1'-0"

4 METAL EDGE INSTALLATION  
SCALE: 6" = 1'-0"

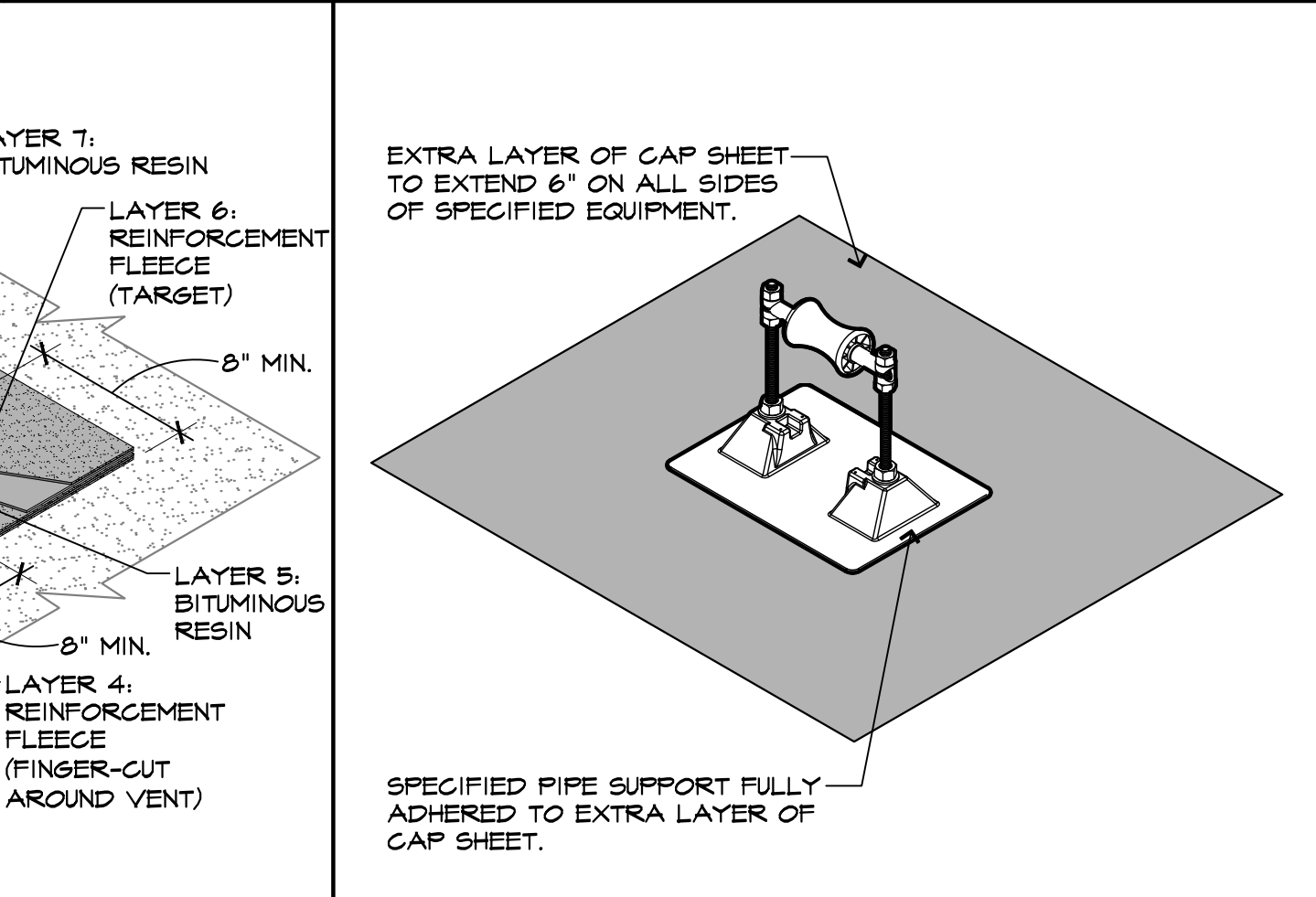
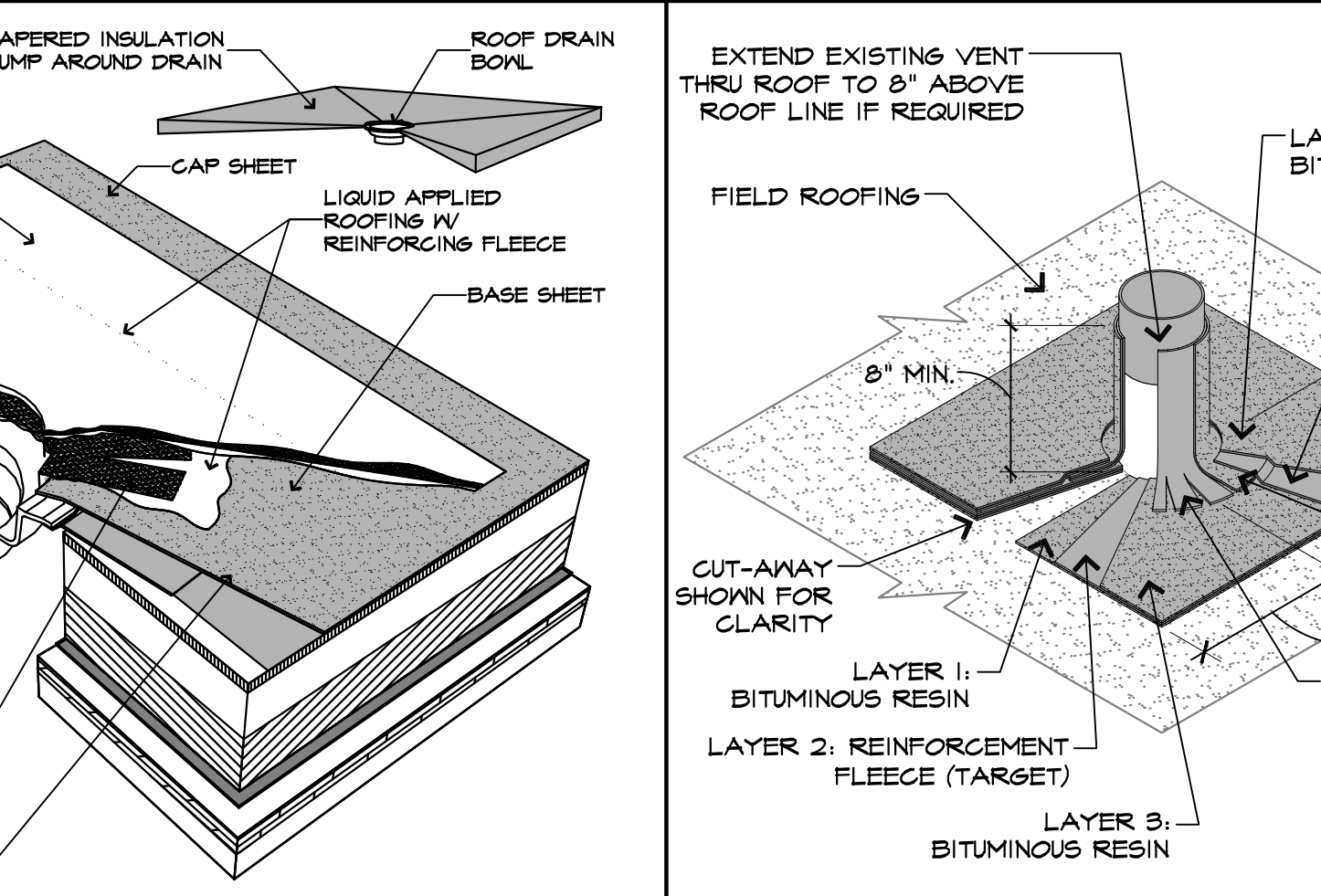
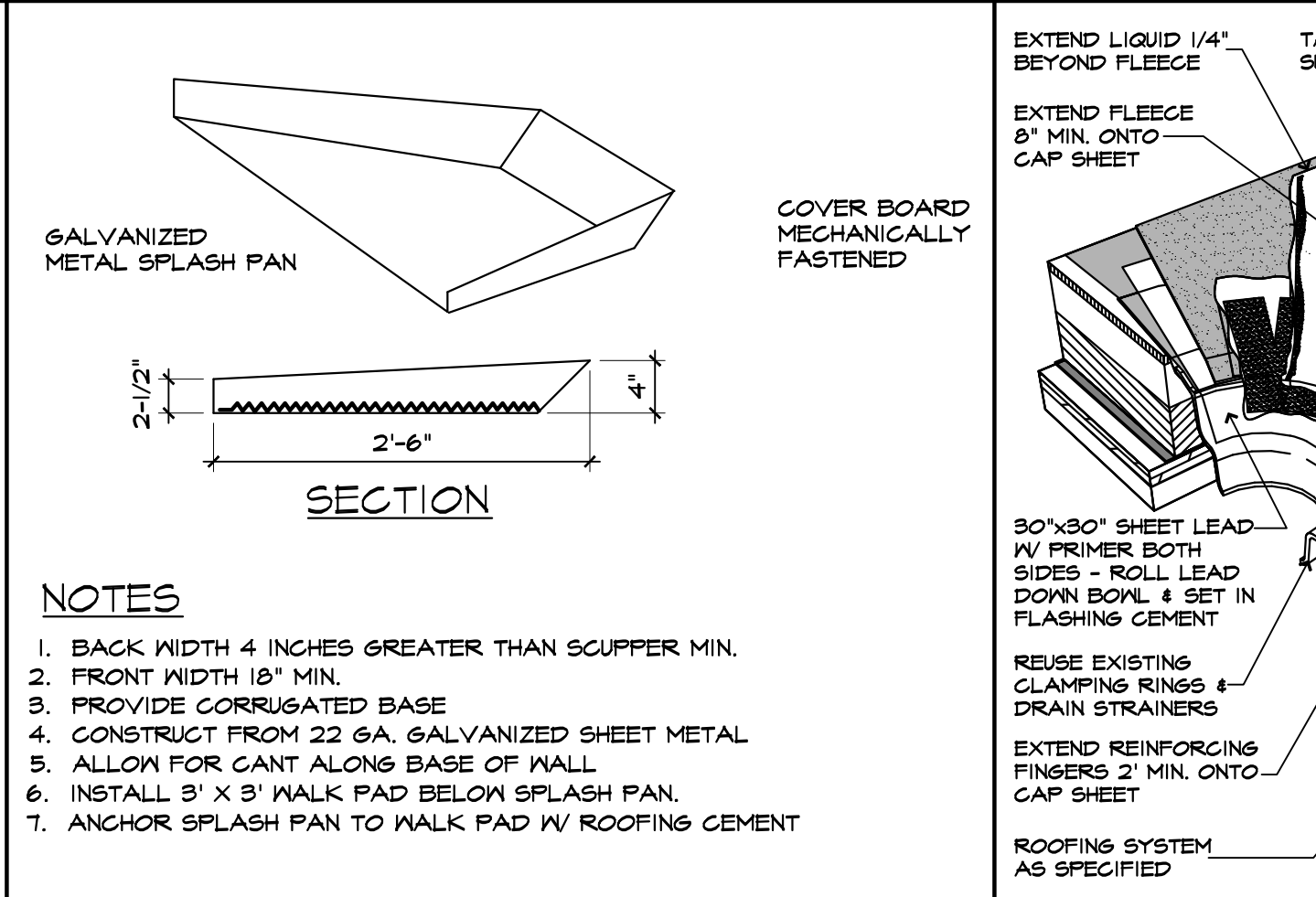
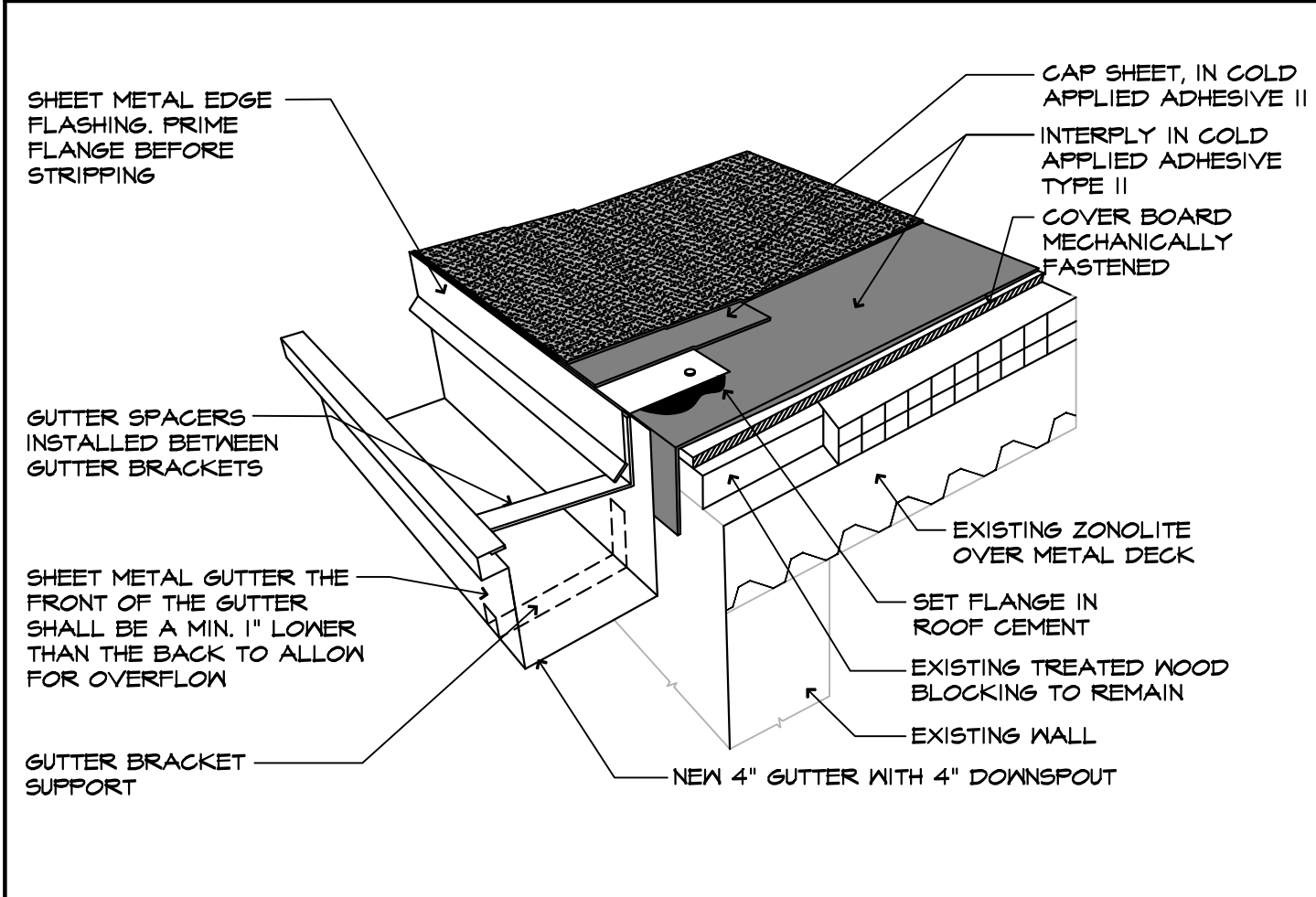


5 ROOF EDGE DETAIL  
SCALE: 3" = 1'-0"

6 TYP. BASE FLASHING AT INSIDE CORNER  
SCALE: N.T.S.

7 TYP. BASE FLASHING AT OUTSIDE CORNER  
SCALE: N.T.S.

8 ROOF HATCH DETAIL  
SCALE: 3" = 1'-0"



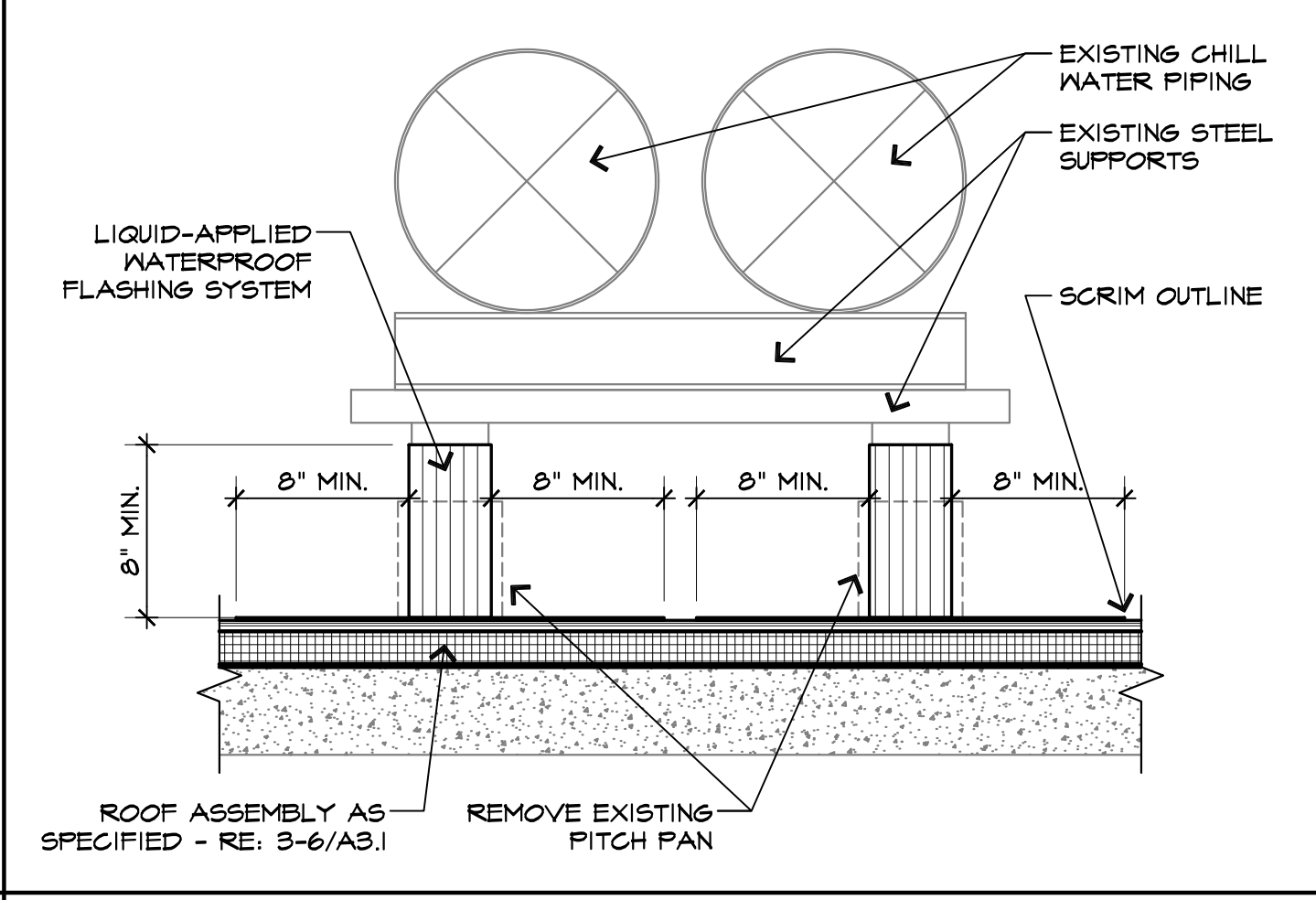
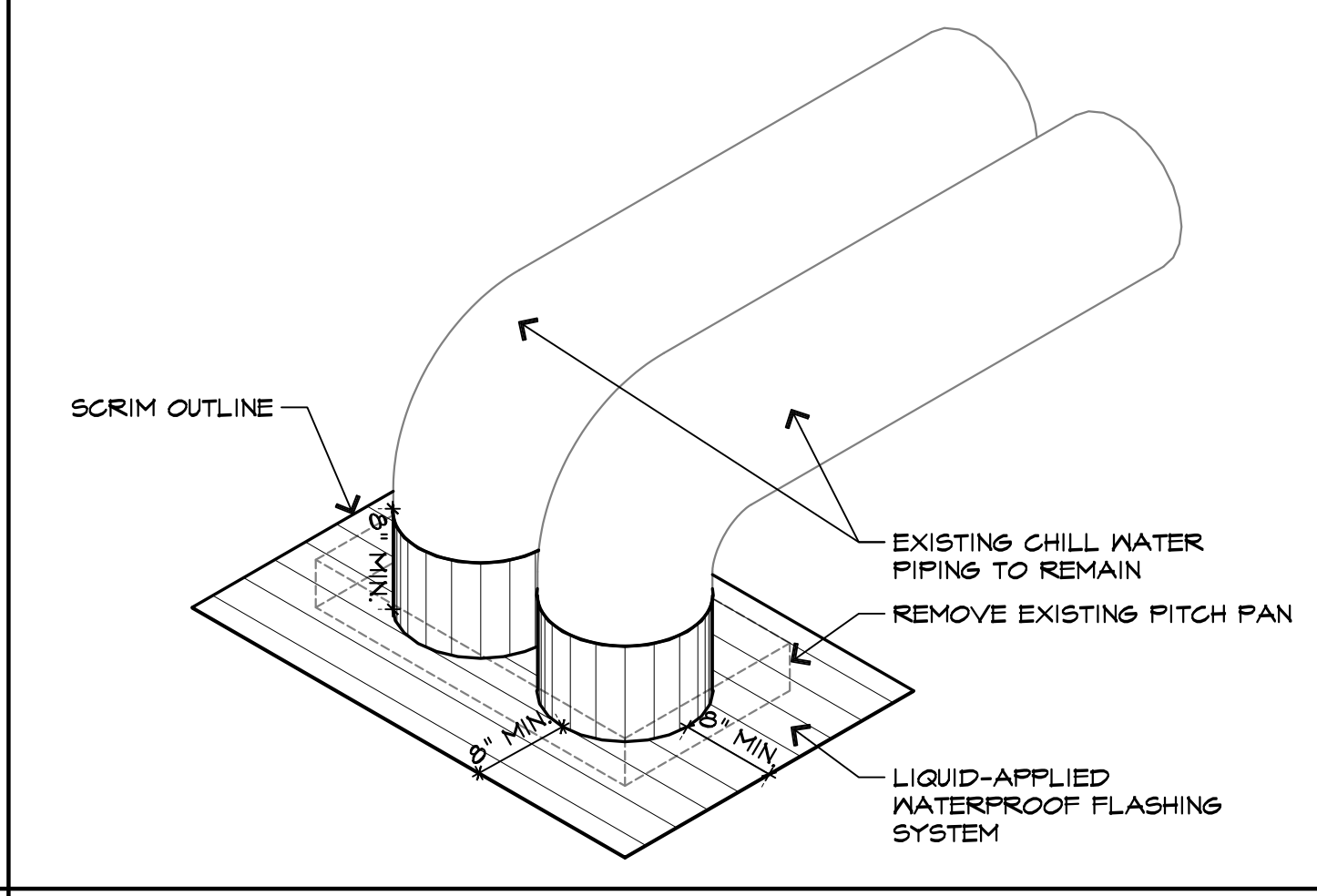
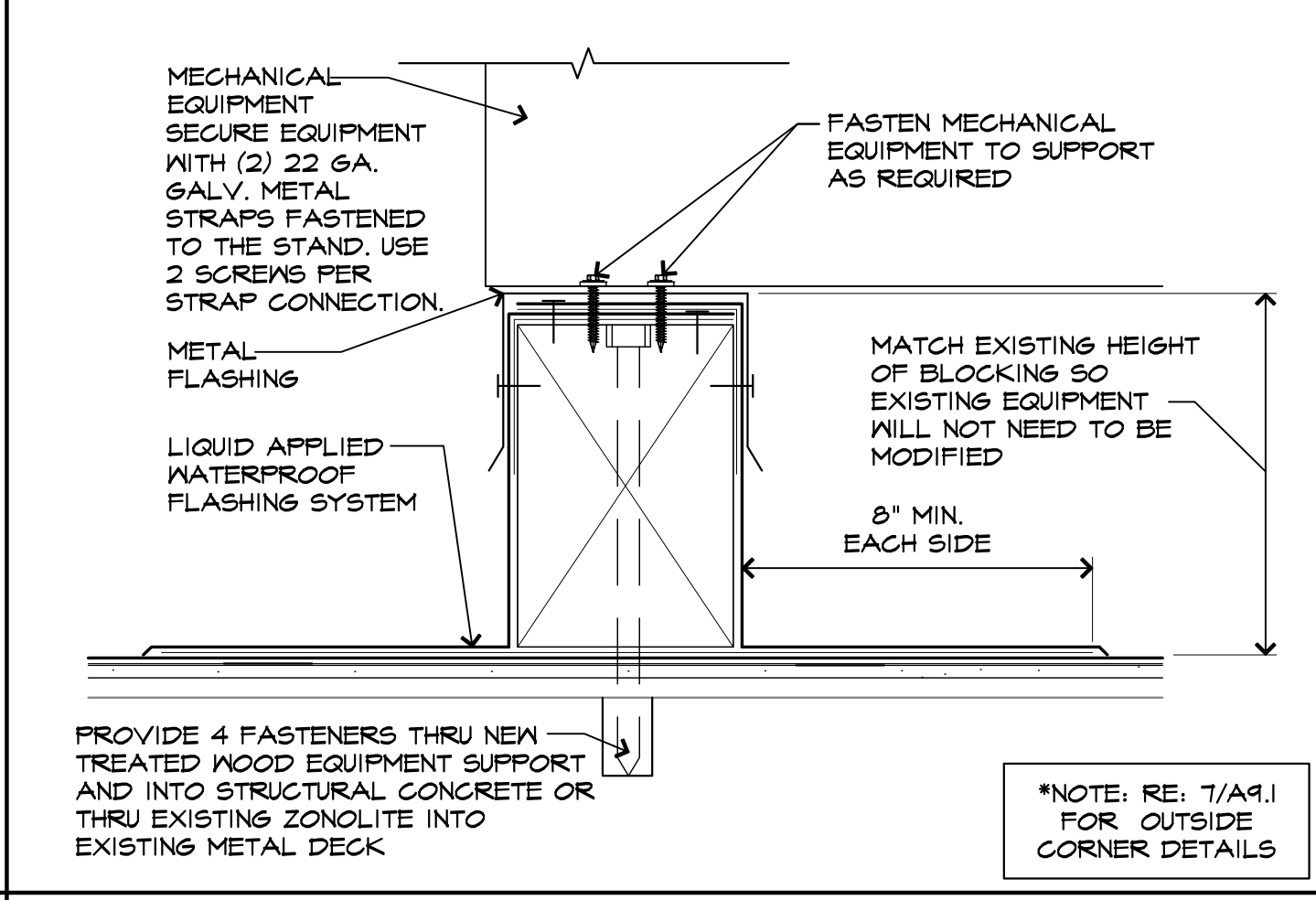
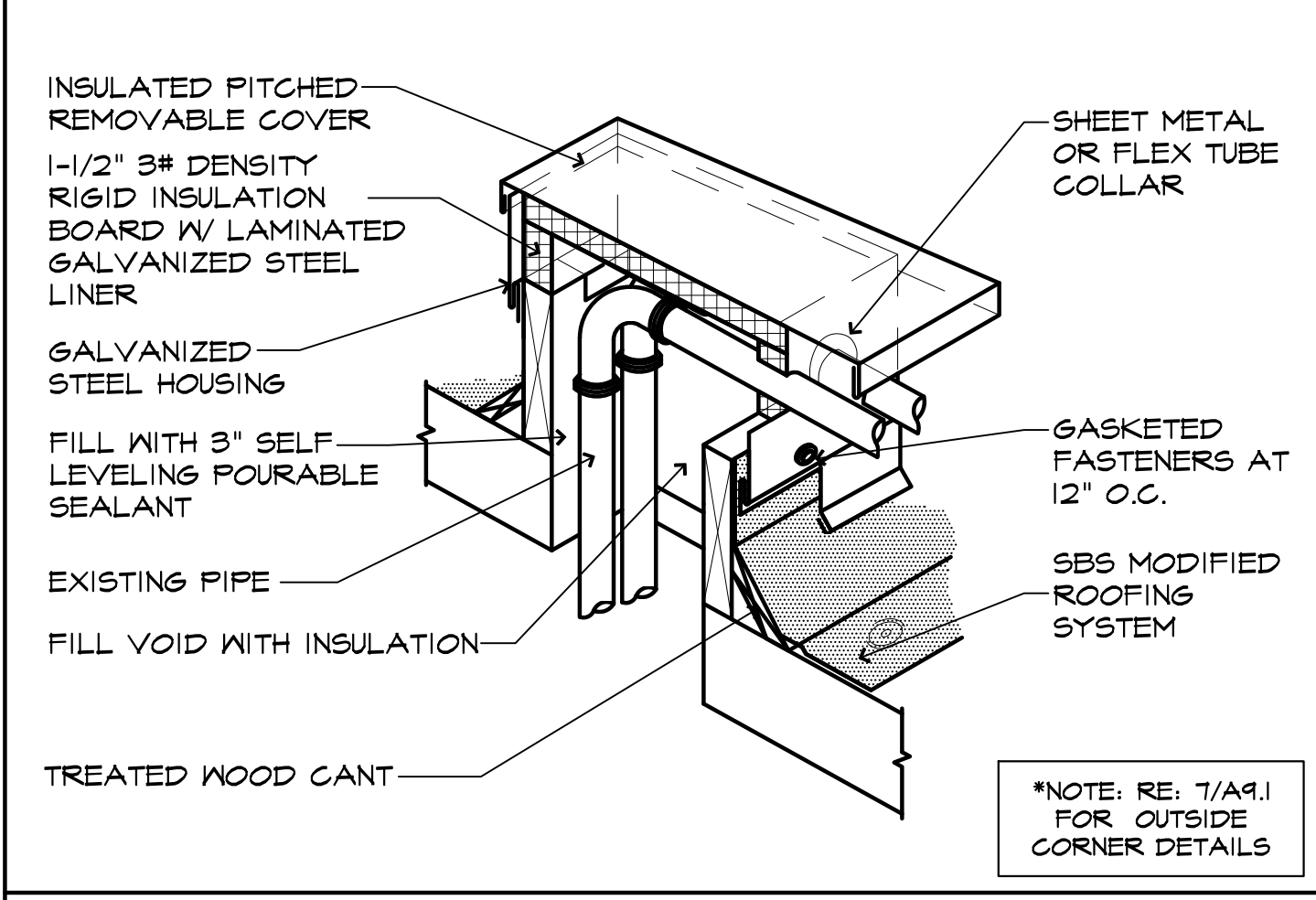
9 ROOF GUTTER DETAIL  
SCALE: N.T.S.

10 SPLASH PAN DETAIL  
SCALE: N.T.S.

11 ROOF DRAIN DETAIL  
SCALE: N.T.S.

12 V.I.R. DETAIL  
SCALE: N.T.S.

13 PIPE SUPPORT DETAIL  
SCALE: N.T.S.



14 PIPE COVER DETAIL  
SCALE: N.T.S.

15 EQUIPMENT SUPPORT DETAIL  
SCALE: 3" = 1'-0"

16 FLASHING @ CHILL WATER PENETRATION  
SCALE: N.T.S.

17 FLASHING @ CHILL WATER SUPPORTS  
SCALE: 1-1/2" = 1'-0"

ARCHITECTURE | INTERIOR DESIGN

**MBSB GROUP**

101 LA RUE FRANCE, SUITE 205  
LAFAYETTE, LOUISIANA 70508  
(337)237-2770 FAX (337)237-2772

**UL LAFAYETTE  
AGNES EDWARDS HALL  
RE-ROOF 2024**

110 REX STREET  
LAFAYETTE, LA 70503

SCHEDULE OF BASE BID AND ALTERNATES

BASE BID:

THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED TO RE-ROOF AREAS "A", "B", "C", AND "D".

ALT. 01:

THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR PROVIDING WALL-MOUNTED LADDER AND REPAIRS TO PENTHOUSE.

ALT. 02:

THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR BRICK REPAIR AND SILICONE ELASTOMERIC COATING AS INDICATED ON ELEVATIONS 2-9/A4.1.

PROJECT NUMBER:

224-17\_00

DATE:

JUNE 2025

DRAWN BY:

ZB

CHECKED BY:

MS

REVISIONS:

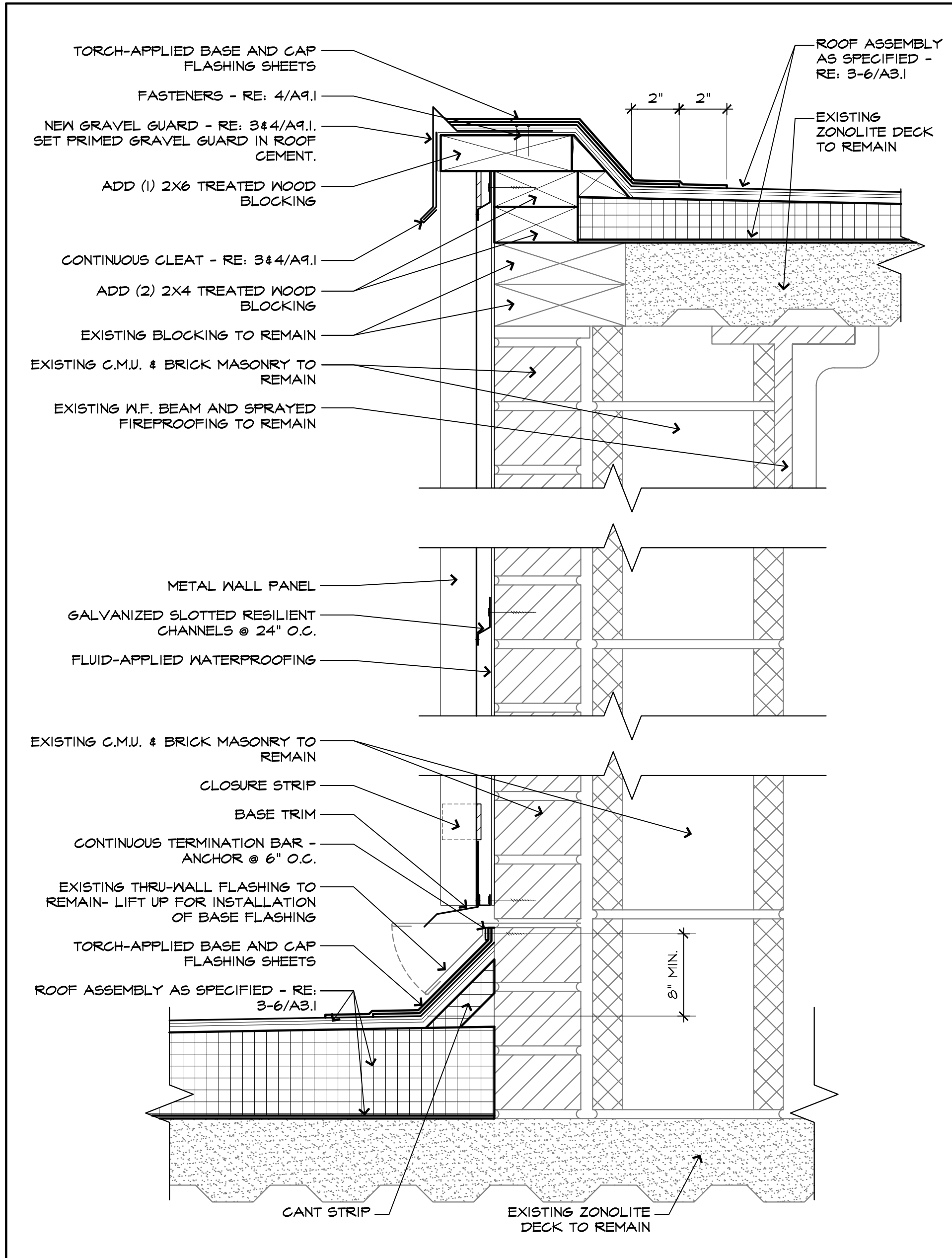
NO.	DESCRIPTION	DATE

SHEET NUMBER:

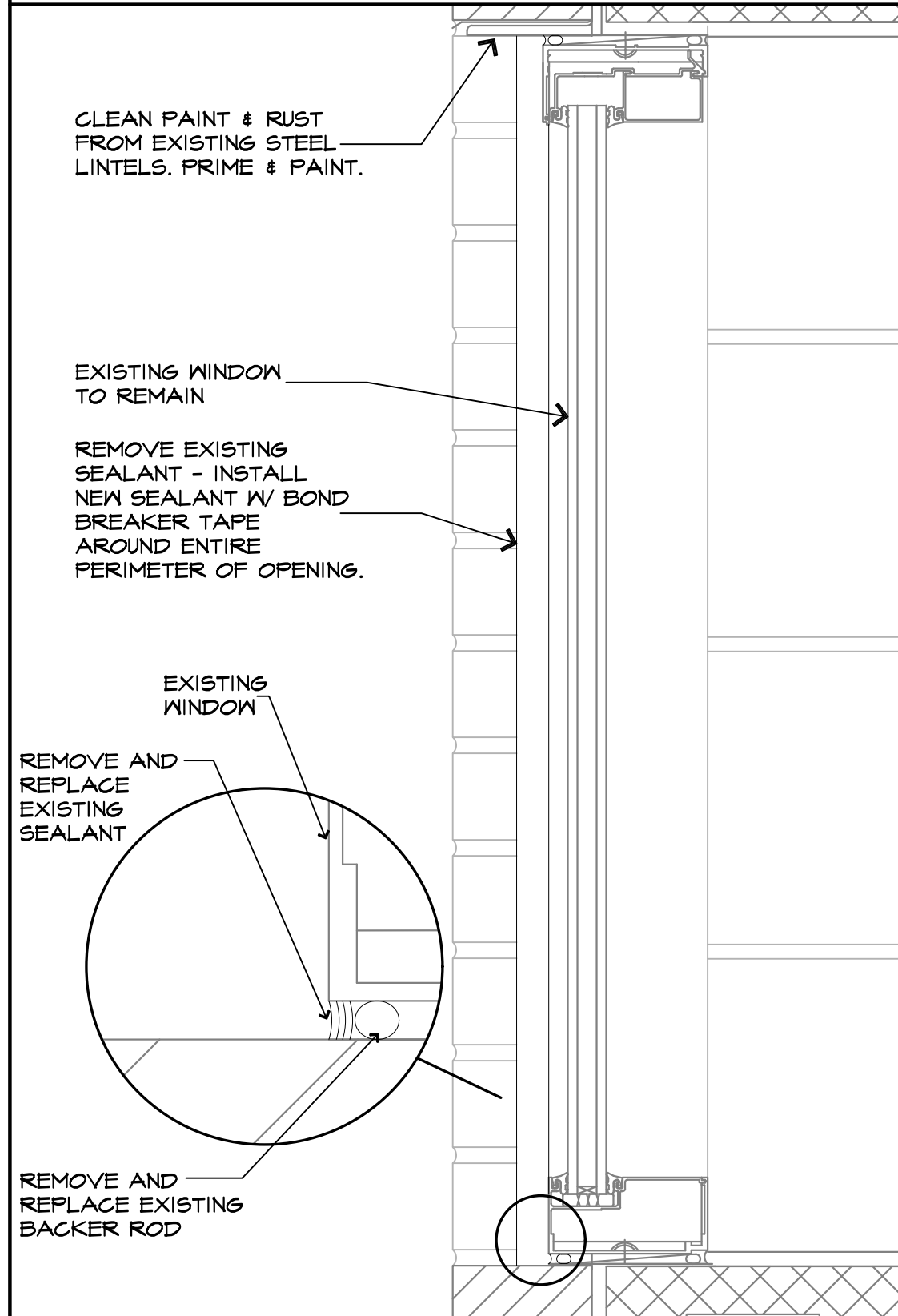
**A9.1**

COPYRIGHT: 2025 MBSB GROUP

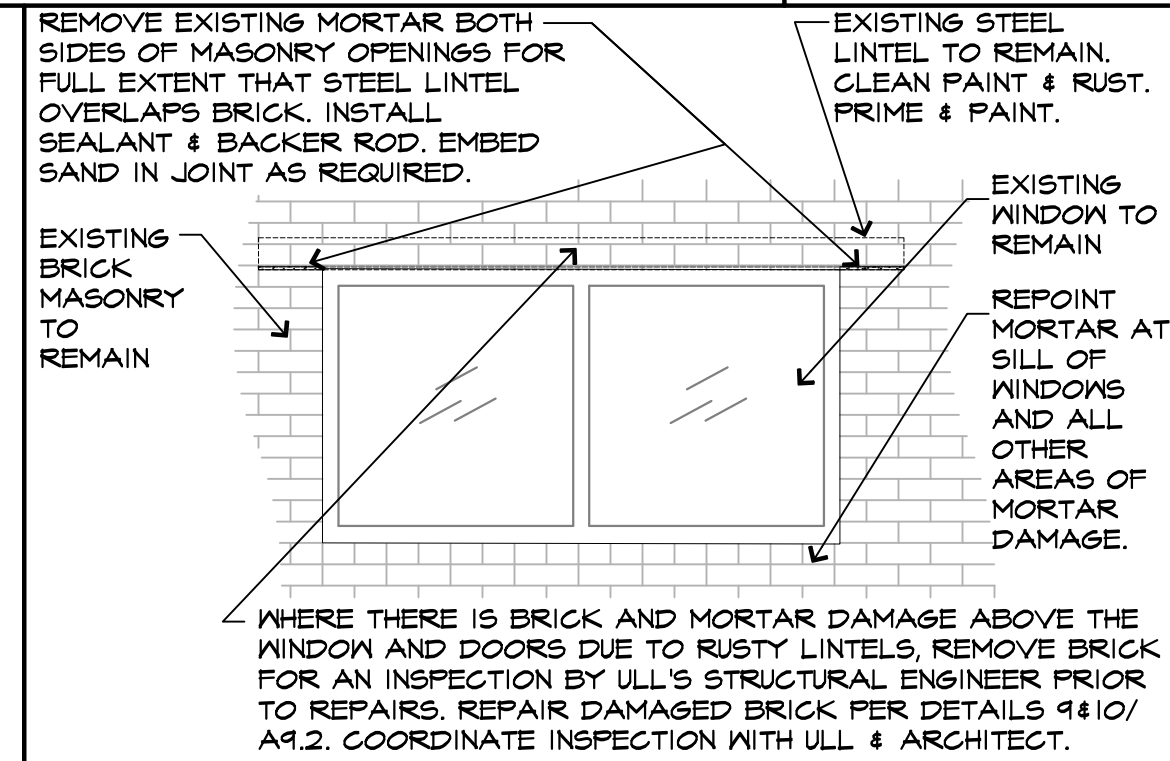




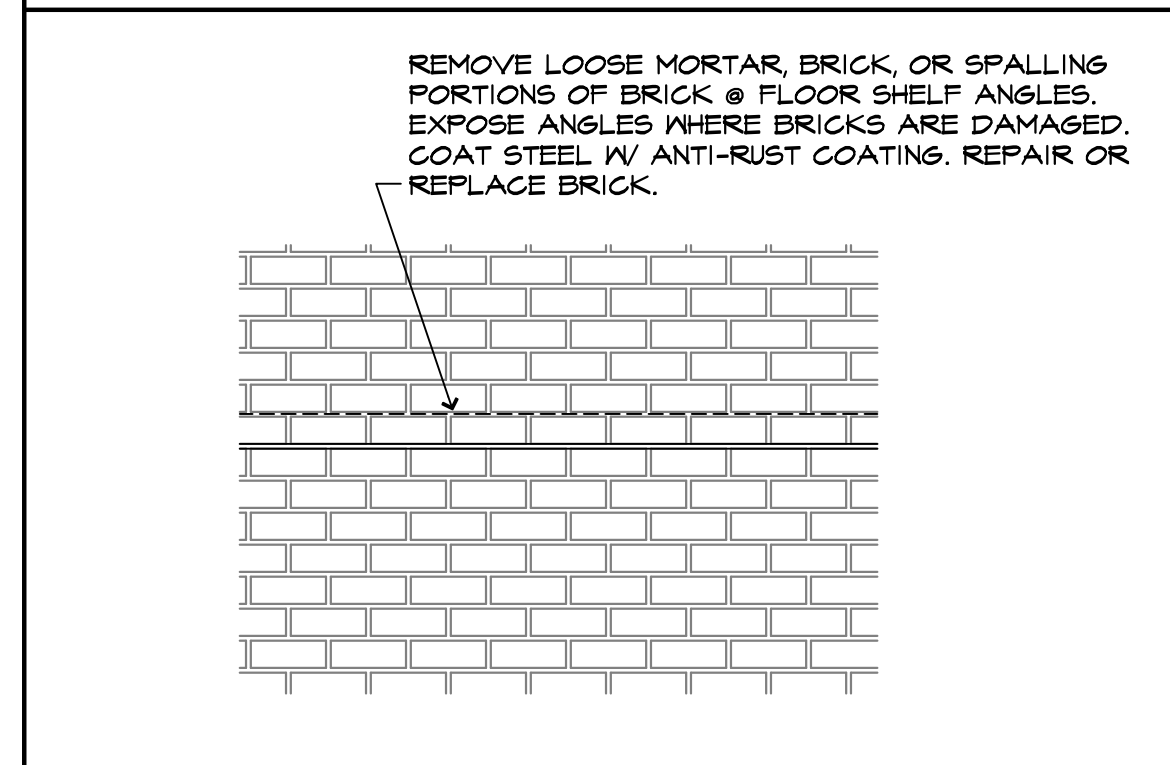
1 WALL PANEL @ PENTHOUSE  
SCALE: 3/8" = 1'-0"



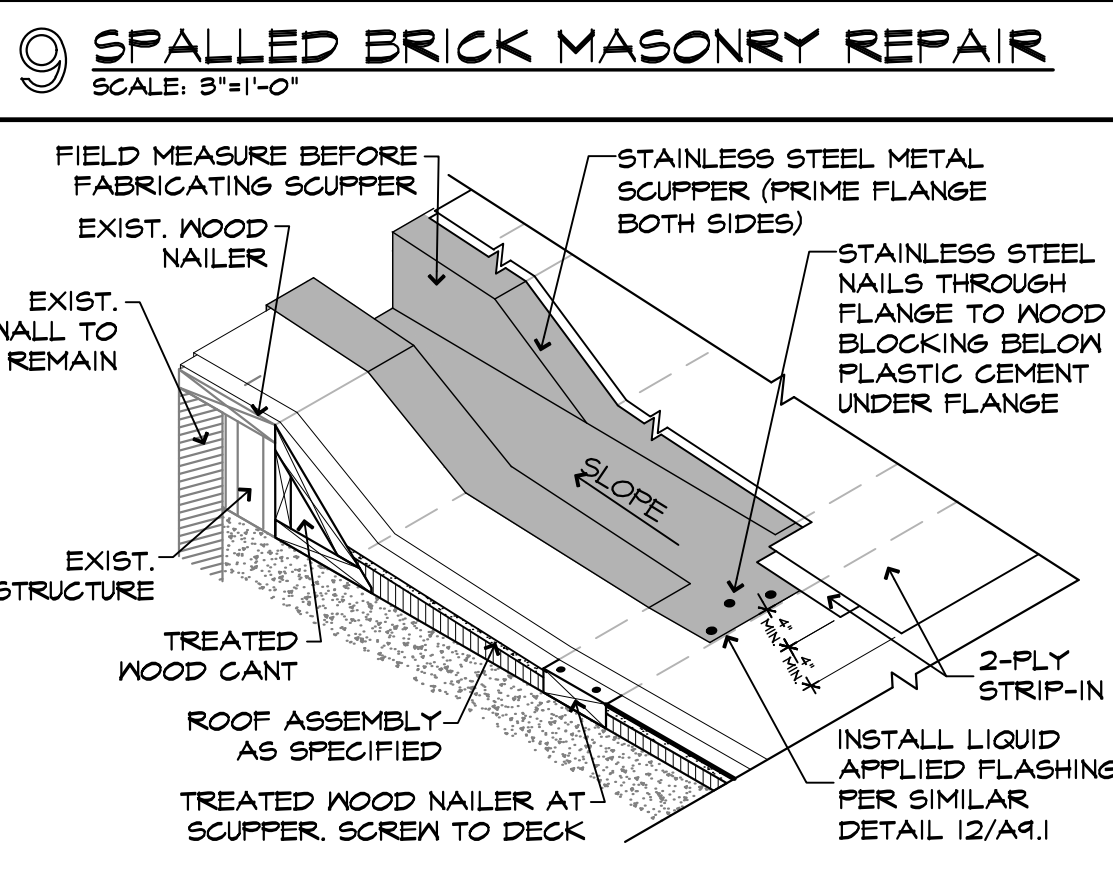
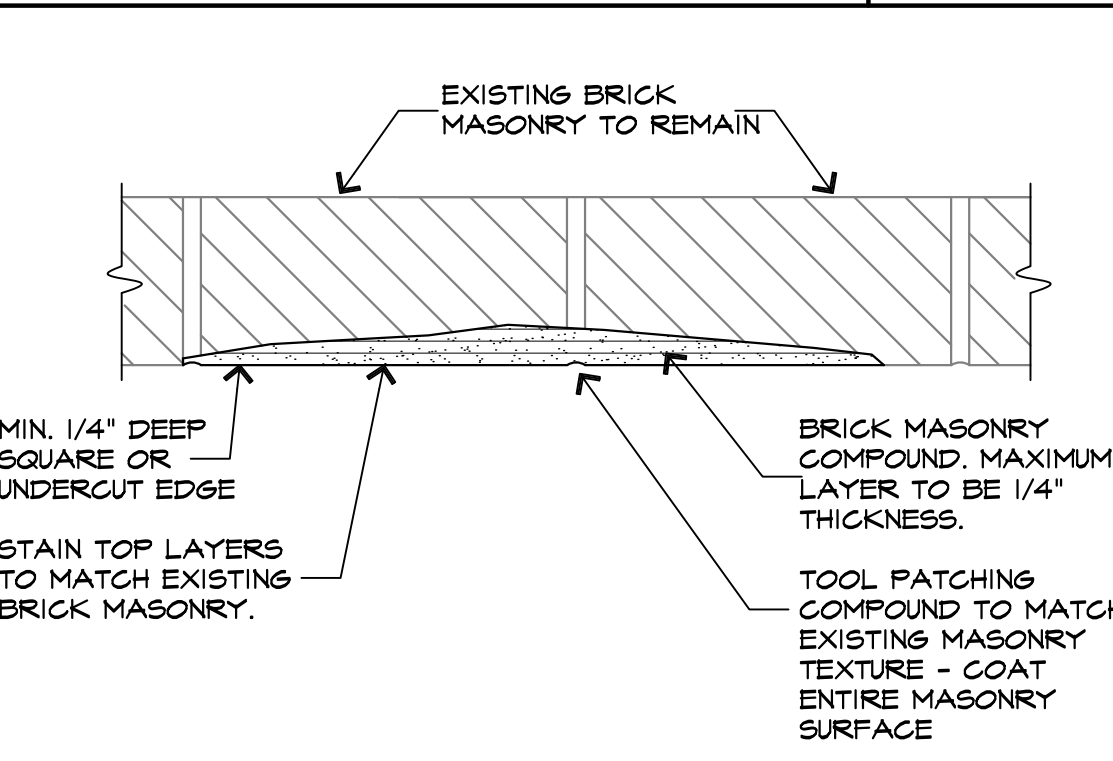
7 WINDOW SEALING DETAIL  
SCALE: 3/8" = 1'-0"



8 MORTAR REPAIR AT LINTEL  
SCALE: 1/2" = 1'-0"

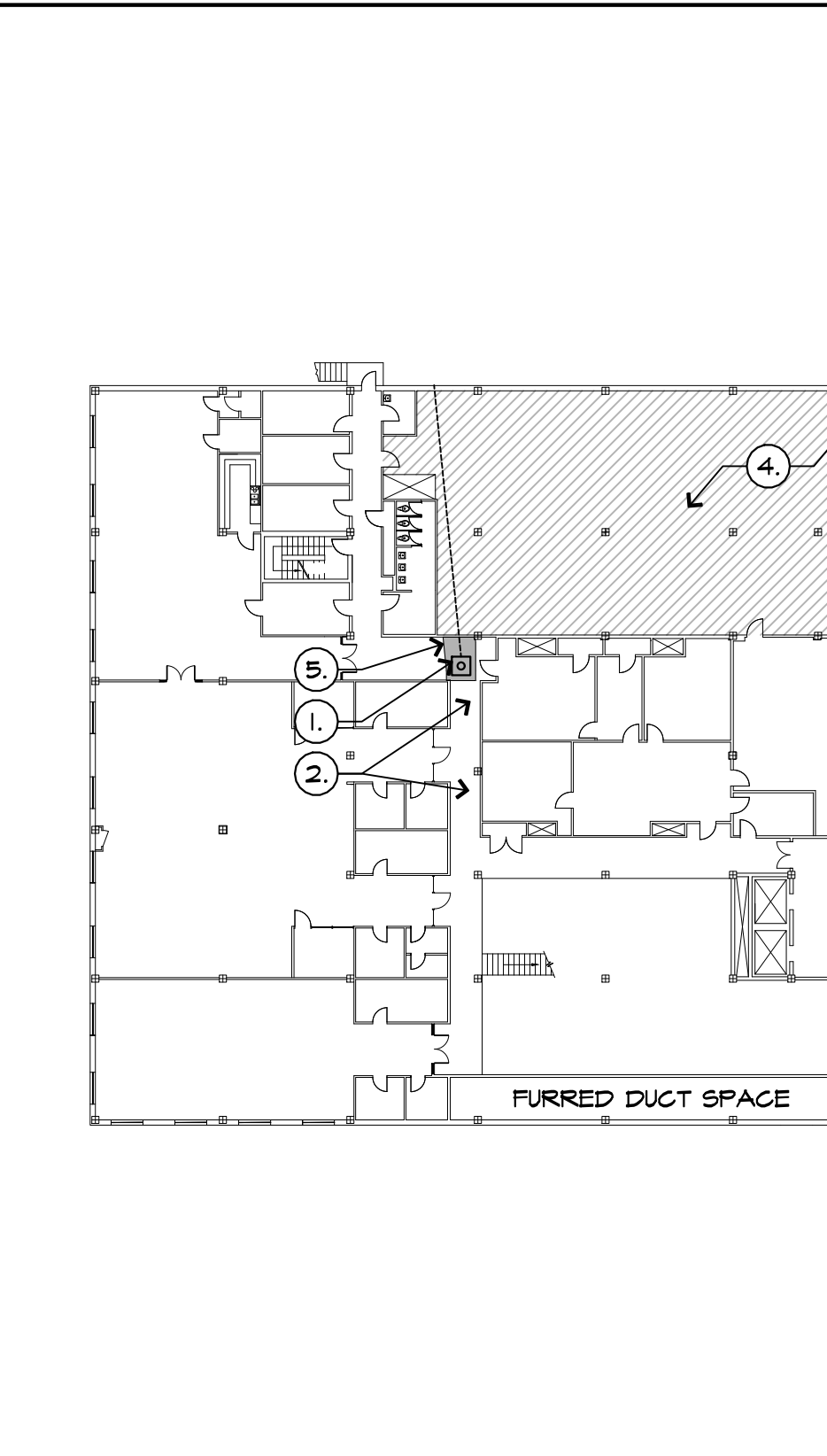


10 MORTAR REPAIR AT FLOOR ANGLE  
SCALE: 3/4" = 1'-0"

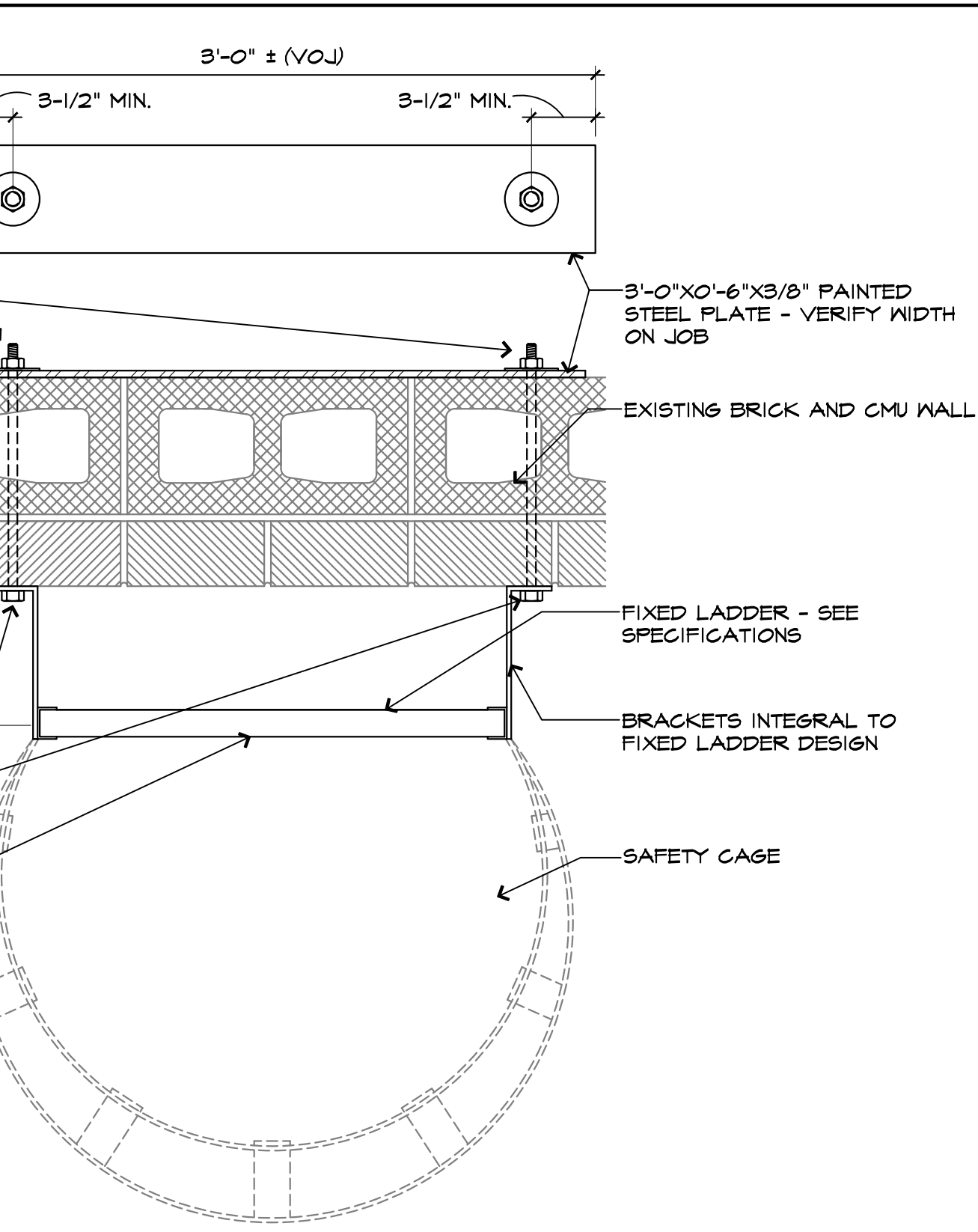


11 OVERFLOW SCUPPER  
SCALE: 3/4" = 1'-0"

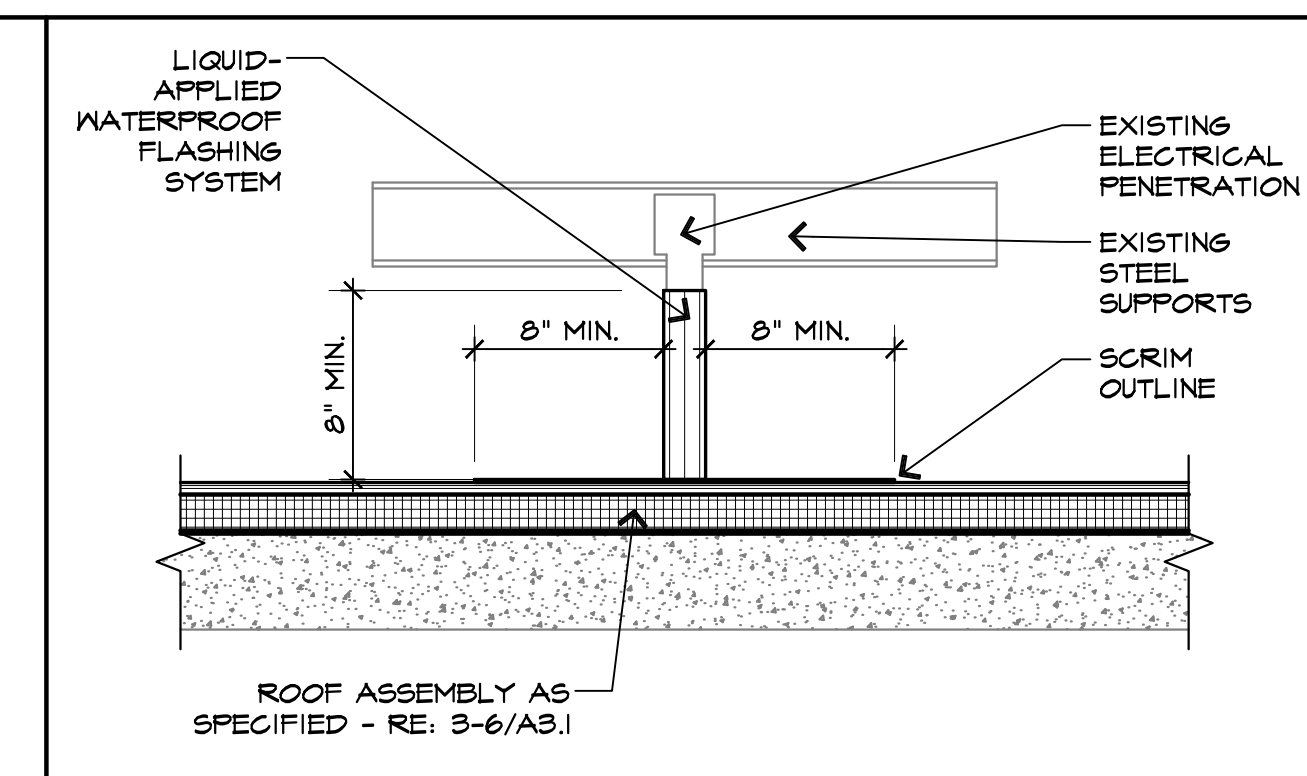
5 FLASHING @ CHILL WATER SUPPORTS  
SCALE: 1-1/2" = 1'-0"



12 MEZZANINE FLOORPLAN  
SCALE: 1/32" = 1'-0"



3 FIXED LADDER ATTACHMENT DETAIL  
SCALE: 1-1/2" = 1'-0"



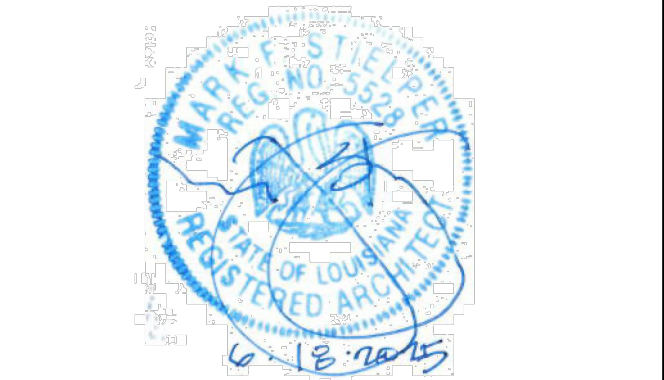
6 FLASHING @ PENETRATION  
SCALE: 1-1/2" = 1'-0"

**UL LAFAYETTE  
AGNES EDWARDS HALL  
RE-ROOF 2024**

**110 REX STREET  
LAFAYETTE, LA 70503**

**SCHEDULE OF BASE BID AND ALTERNATES**

BASE BID:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED TO RE-ROOF AREAS "A", "B", "C", AND "D".
ALT. 01:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR PROVIDING WALL-MOUNTED LADDER AND REPAIRS TO PENTHOUSE.
ALT. 02:	THE LUMP SUM AMOUNT FOR ALL WORK REQUIRED FOR BRICK REPAIR AND SILICONE ELASTOMERIC COATING AS INDICATED ON ELEVATIONS 2-9/A4.1.



PROJECT NUMBER:	224-17_00
DATE:	JUNE 2025
DRAWN BY:	ZB
CHECKED BY:	MS
REVISIONS:	

NO.	DESCRIPTION	DATE

SHEET NUMBER:

**A9.2**